



TRUMAN WATERFRONT PARK AMPHITHEATER PROJECT

PROJECT #15086

ITB # 17-009

The City of Key West

Key West, Florida

BID SET

ISSUED: 2016-10-21

BID SET

ARCHITECT:

**BERMELLO AJAMIL &
PARTNERS, INC.**

2601 SOUTH BAYSHORE DRIVE 10TH FLOOR
MIAMI, FLORIDA 33133 (305) 859-7835 FAX (305) 859-9638

CIVIL ENGINEER:

**PEREZ ENGINEER &
DEVELOPMENT, INC.**

1010 KENNEDY DRIVE, SUITE 201
KEY WEST, FLORIDA 33040 (305) 293-9440 FAX (305) 296-0243

LANDSCAPE ARCHITECT:

**BERMELLO AJAMIL &
PARTNERS, INC.**

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STRUCTURAL ENGINEER:

DDA ENGINEERS, P.A.

4930 S.W. 74TH COURT
MIAMI, FLORIDA 33155 (305) 666-0711

ELECTRICAL & FIRE PROTECTION ENGINEER:

**HNGS
ASSOCIATES, INC.**

4800 SW 74TH COURT
MIAMI, FLORIDA 33155 (305) 270-9935

OWNER:

**CITY OF
KEY WEST**

P.O. BOX 1409
3140 FLAGLER AVENUE, KEY WEST FLORIDA 33041

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ABBREVIATIONS

A	ARCHITECT/ENGINEER	CONSTR	CONSTRUCTION	FE	FIRE EXTINGUISHER	INCAND	INCANDESCENT	MULT	MULTIPLE	PREP	PREPARATION	SYS	SYSTEM
A/E	ARCHITECT/ENGINEER	CONT	CONTINUOUS	FGL	FIBERGLASS	INDIC	INDICATE	MW	MICROWAVE	PRKG	PARKING	T	TONGUE AND GROOVE
ACOUS	ACOUSTICAL	CP/CPT	CARPET	FHC	FIRE HOSE CABINET	INSTL	INSTALL(ATION)	N	N/A	PROJ	PROJECT	T&G	TEXTURE APPLIED FINISH SYSTEM
ACP	ACOUSTICAL CEILING PANEL	CRS	COLD ROLLED STEEL	FHP	FULL HEIGHT PARTITION	INSUL	INSULATION	ND	NOT APPLICABLE	PT	PRETREATED	TAFS	TOWEL BAR
ACT	ACOUSTICAL CEILING TILE	CRS	COURSE	FIN	FINISH	INT	INTERIOR	NIC	NOT IN CONTRACT	PTD	PAINTED	TB	TOWEL DISPENSER
ADA	AMERICAN'S WITH DISABILITIES ACT	CRTN	CURTAIN	FIN FL	FINISHED FLOOR	J	JOIST	NOM	NOMINAL	PTN	PARTITION	TD	TOWEL DISPENSER / RECEPTACLE
ADD	ADDENDUM	CSMT	CASEMENT	FLOUR	FLUORESCENT	JST	JOIST	NR	NAPKIN RECEPTACLE	Q	QUARRY TILE	TDR	TELEPHONE
ADJ	ADJACENT	CSWK	CASEWORK	FLR (FLRG)	FLOOR(ING)	JT	JOINT	NTS	NOT TO SCALE	QT	QUARRY TILE	TEL	TEMPORARY
AFF	ABOVE FINISH FLOOR	CUB	CUBICLE	FOC	FACE OF CONCRETE	K	KICKPLATE	O	OUT TO OUT	R	RADIUS	TEMP	TEMPORARY
ALT	ALTERNATE	D	DEMOLITION	FOF	FACE OF FINISH	KPL	KICKPLATE	O/O	OVERALL	RB	RESILIENT BASE	TF	TOP OF FOOTING
ALUM	ALUMINUM	DEMO	DEMOLITION	FOM	FACE OF MASONRY	L	LAMINATE	OA	ON CENTER	RD	ROOF DRAIN	TFF	TOP OF FINISH FLOOR
ARCH	ARCHITECT (URAL)	DF	DRINKING FOUNTAIN	FOS	FACE OF STUD	LAM	LAMINATE	OC	ON CENTER	REC	RECESSED	THRES	THRESHOLD
B	BETWEEN	DFR	DOOR FRAME	FR	FIRE RATING	LAV	LAVATORY	OD	OUTSIDE DIAMETER	RECPT	RECEPTACLE	TJ	TOP OF JOIST
BET	BETWEEN	DIFF	DIFFUSER	FTG	FOOTING	LD BRG	LOAD BEARING	OF	OVERFLOW	REF	REFER(ENCE) OR REFRIGERATOR	TOT	TOTAL
BH	BULKHEAD	DIM	DIMENSION	FURN	FURNITURE	LDG	LANDING	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED	REINF	REINFORCE(D)(ING)(MENT)	TPH	TOILET PAPER HOLDER
BLDG	BUILDING	DISP	DISPENSER	FURR	FURRING	LF	LINEAR FOOT	OP	OPENING	REQD	REQUIRED	TSL	TOP OF SLAB
BLK	BLOCK	DLV	DOOR LOUVER	G	GALVANIZED	LRV	LOUVERED ROOF VENT	OPNG	OPENING	RESIL	RESILIENT	TST	TOP OF STEEL
BLKG	BLOCKING	DO	DOOR OPENING	GALV	GALVANIZED	LTG	LIGHTING	OPP	OPPOSITE	RFG	ROOFING	TYP	TYPICAL
BM	BEAM	DS	DOWNSPOUT	GDR	GUARDRAIL	LTV	LIGHTWEIGHT	OPP HAND	OPPOSITE HAND	RLG	RAILING	U	UNIFORM
BOT	BOTTOM	DT	DRAIN TILE	GLZ	GLAZING	LVR	LOUVER	OPT	OPTIONAL	RM	ROOM	UNO	UNLESS NOTED OTHERWISE
BRCG	BRACING	DW	DISHWASHER	GUT	GUTTER	M	MARINE GRADE	ORD	OVERFLOW ROOF DRAIN	RND	ROUND	UR	URINAL
BRG	BEARING	DWG	DRAWING	GYP BD/GWB	GYPSPUM BOARD	M.G.	MARINE GRADE	ORIG	ORIGINAL	RTU	ROOF TOP UNIT	V	VINYL BASE
C	CENTER TO CENTER	E	ELECTRIC HAND DRYER	H	HANDICAP(PED)	MAS	MASONRY	P	PERIMETER	S	S.E.P.T.	VB	VINYL COMPOSITION TILE
C/C	CENTER TO CENTER	EHD	ELECTRIC HAND DRYER	HC	HANDICAP(PED)	MATL	MATERIAL	PERIM	PERIMETER	S	S.E.P.T.	VCT	VINYL COMPOSITION TILE
CAB	CABINET	EJ	EXPANSION JOINT	HCMU	HOLLOW CONCRETE MASONRY UNIT	MAX	MAXIMUM	PERM	PERMANENT	S/R	SHELVE AND ROD	VERT	VERTICAL
CB	CORNER BEAD	EL	ELEVATION	HDWE/HDW	HARDWARE	MBRN	MEMBRANE	PH	PHASE	SAN	SANITARY	VIN	VINYL
CER	CERAMIC	ELEC	ELECTRICAL	HM	HOLLOW METAL	MECH	MECHANICAL	PL	PLATE	SF	SQUARE FOOT	VT	VINYL TILE
CF	CUBIC FOOT	ELEV	ELEVATOR	HMD	HOLLOW METAL DOOR	MED	MEDICINE (MEDICAL)	PLAM	PLASTIC LAMINATE	SP	STAND PIPE	VWC	VINYL WALL COVERING
CFCI	CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	ENCL	ENCLOSURE	HNDRL	HANDRAIL	MET	METAL	PLAS	PLASTIC	SPKLR	SPRINKLER	W	WASHER AND DRYER
CGD	CORNER GUARD	ENGR	ENGINEER	HORIZ	HORIZONTAL	MIN	MINIMUM	PLBG	PLUMBING	SS	STAINLESS STEEL	W/D	WALL TO WALL
CHAN	CHANNEL	EQUIP	EQUIPMENT	HT	HEIGHT	MIR	MIRROR	PLYWD	PLYWOOD	STD	STANDARD	WC	WATER CLOSET
CHAN	CHANNEL	ESMT	EASEMENT	HVAC	HEATING, VENTILATION, AIR CONDITIONING	MISC	MISCELLANEOUS	PNT	PANEL	STL	STEEL	WD	WOOD
CJ	CONTROL JOINT	EWC	ELECTRIC WATER COOLER	I	INSULATED CONCRETE FORM	MLDG	MOLDING	PRCST	PRECAST	STOR OR ST	STORAGE	WDW	WINDOW
CL	CENTER LINE	EXT	EXTENDING	ICF	INSULATED CONCRETE FORM	MLWK	MILLWORK	PRFAB	PREFABRICATED	STRUCT	STRUCTURAL	WH	WALL HUNG
CLG	CEILING	F	FACE TO FACE	ID	INSIDE DIAMETER	MO	MASONRY OPENING	PREFIN	PREFINISHED	SUSP	SUSPENDED	WT	WEIGHT
CMU	CONCRETE MASONRY UNIT	F/F	FACE TO FACE	IF	INSIDE FACE	MTD	MOUNTED	PRELIM	PRELIMINARY	SYM	SYMBOL		
CNTR	COUNTER	FDN	FOUNDATION			MTG	MOUNTING						
COLM	COLUMN					MULL	MULLION						
CONC	CONCRETE												

SYMBOLS

	CONCRETE		DIMENSION TO FACE OF STRUCTURE		COLUMN REFERENCE GRID
	CONCRETE MASONRY UNIT		DIMENSION TO CENTERLINE (TYP. DIMENSION TO CENTERLINE OF PARTITION)		SLOPE UP
	CORAL STONE		AREA OF REVISION		SLOPE DOWN
	EARTH		REVISION NUMBER		BUILDING NORTH SYMBOL
	INSULATION (BATT)		DEMOLITION AND/OR ALTERATION NOTE		FLOOR ELEVATION EL: 20'-0"
	INSULATION (RIGID)		WORK POINT, CONTROL POINT OR DATUM POINT		NEW WALLS, DOORS (SOLID)
	METAL (STEEL, IRON)		(W) WINDOW (L) LOUVER TYPE		DOOR TAG 2" TO JAMB UNLESS NOTED OTHERWISE
	PLYWOOD		FIRE EXTINGUISHER W/ RECESSED WALL MOUNTED CABINET		ROOM NAME AND NUMBER 123
	WOOD FINISH		WALL MOUNTED FIRE EXTINGUISHER		PARTITION CODE
	WOOD FRAMING & BLOCKING		CARD READER		NEW WORK, NON RATED
	PARTICLE BOARD		ACTUATOR (ADA PUSH BUTTON POWER OPERATOR)		1 HOUR FIRE RATED PARTITION
	GYPSPUM WALL BOARD		DELAY EGRESS (WITH ACCESS CONTROL)		1 HOUR FIRE RATED PARTITION - BEARING WALLS
	EXISTING CONTOUR GRADES		SENSOR (DOOR CONTROL)		2 HOUR RATED FIRE WALL
					PARTITION TYPE, SEE LS1005

GENERAL NOTES

- THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND UNDERSTAND THE SCOPE OF THE DRAWINGS TO BE THE FOLLOWING: THESE CONSTRUCTION DOCUMENTS (DRAWINGS, SPECIFICATIONS, ADDENDA, ETC.) INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPTS, THE DIMENSION OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE MAJOR STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. THE DOCUMENTS DO NOT AND ARE NOT INTENDED TO INDICATE OR DESCRIBE IN DETAIL ALL THE NECESSARY WORK REQUIRED FOR FULL PERFORMANCE OF, AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF THE GENERAL SCOPE INDICATED IN THESE DOCUMENTS, THE TRADE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. ALL WORK SHALL BE COMPLETE IN EVERY DETAIL AND THE CONTRACTORS SHALL PROVIDE A ONE YEAR WARRANTY FOR THEIR WORK.
- FRAME DOOR OPENINGS 2" FROM FACE OF PERPENDICULAR WALL ON HINGE SIDE AND 1'-6" FROM FACE OF PERP. WALL ON LATCH SIDE UNLESS NOTED OTHERWISE.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL RESTROOMS AND WET AREAS.
- COORDINATE WORK OF ALL TRADES PRIOR TO STARTING CONSTRUCTION.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN EACH BUILDING COMPONENT LOCATION. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION IN WRITING IMMEDIATELY.
- FIRE EXTINGUISHER CABINET LOCATIONS SHOWN ARE SUGGESTED LOCATIONS ONLY. FIRE EXTINGUISHERS AND CABINETS TO COMPLY WITH NFPA 101. CONTRACTOR TO VERIFY QUANTITY AND EXACT LOCATIONS WITH FIRE MARSHAL PRIOR TO INSTALLATION.
- BUILDING FIRST FLOOR IS REFERENCE ELEVATION 100'-0". SEE CIVIL DRAWINGS FOR U.S.G.S. ELEVATION.
- ALL DIMENSIONS ARE DIMENSIONED TO GRID LINES, FACE OF STUD FRAMING, OR FACE OF CMU/MASONRY UNLESS NOTED OTHERWISE. ALL DIMENSIONS ARE ACTUAL AND NOT NOMINAL.
- THE CONTRACTORS INVOLVED IN THIS PROJECT SHALL BE RESPONSIBLE FOR DESIGNING AND INSTALLING THEIR RESPECTIVE WORK AND SYSTEMS TO MEET ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, LAWS, SAFETY REGULATIONS, HAZARDOUS WASTE LAWS, ETC. THE CONTRACTORS SHALL FURNISH ALL NECESSARY PERMITS.
- ALL WORK SHALL BE PERFORMED IN A SKILLED WORKMANSHIP TYPE AND MANNER ACCEPTABLE TO THE ARCHITECT AND OWNER.
- TAPE AND SPACKLE ALL PENETRATIONS IN GYPSUM BOARD PARTITIONS, INCLUDING, BUT NOT LIMITED TO WATER LINES, DRAINS, CONDUIT, THERMOSTATS, ETC. INSTALL FIRE RETARDANT SEALANT AT PENETRATIONS IN RATED PARTITIONS AS REQUIRED.
- ALL CONCRETE MASONRY UNITS SHALL BE LAID RUNNING BOND UNLESS NOTED OTHERWISE.
- ALL CONCRETE MASONRY UNITS TO BE NORMAL WEIGHT UNLESS NOTED OTHERWISE.
- CAULK INTERSECTION BETWEEN DIFFERENT MATERIALS.
- CAULK TOILET FIXTURES TO FLOOR PER SEALANT SCHEDULE IN SPECIFICATIONS.
- CAULK ALL COUNTERTOP BACKSPASHES TO WALL USING SILICONE SEALANT.
- ALL NEW INTERIOR FINISHES, INCLUDING FLOOR, WALL, AND CEILING MATERIALS, SHALL BE IN ACCORDANCE WITH FLAME SPREAD AND SMOKE DEVELOPMENT REQUIREMENTS, CHAPTER 8, CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE.
- EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO BIDDING OR BEGINNING OF WORK. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ARCHITECT TO REVIEW AND APPROVAL OF CONSULTANTS SHOP DRAWING.
- SHOP DRAWING FOR ALL PRE-ENGINEERED / PRE-MANUFACTURED COMPONENTS MUST BE SIGNED AND SEALED BY FLORIDA LICENSED ENGINEER.

APPLICABLE CODES:

- FLORIDA BUILDING CODE 2014 EDITION
- FLORIDA ACCESSIBILITY CODE 2014 EDITION
- FLORIDA FIRE PREVENTION CODE 5TH EDITION
- MONROE COUNTY AMENDMENTS TO THE FPFC.
- NFPA.



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Interior Design • Landscape Architecture
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PREPARED FOR OWNER:
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P. O. BOX 1409
3140 FLAGLER AVENUE
KEY WEST, FL 33041



PROJECT NAME:

TRUMAN WATERFRONT PARK AMPHITHEATER

PROJECT LOCATION/ADDRESS:
TRUMAN WATERFRONT PARK
WEST OF FORT STREET AND THE
TRUMAN ANNEX DEVELOPMENT,
NORTH OF KEY WEST NAVAL BASE

SUB-CONSULTANT INFORMATION:

PROFESSIONAL SEAL:

SUBMITTAL DESCRIPTION / MILESTONE:

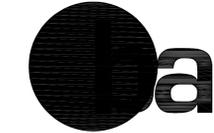
BID SET
October 21, 2016

REVISIONS:

DRAWING SHEET INFORMATION
BA PROJECT NO.: 15086
SCALE: As indicated
DATE:

DRAWING TITLE:
GENERAL NOTES

SHEET NO.
G001



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Interior Design • Landscape Architecture
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PROJECT NAME:
TRUMAN WATERFRONT PARK AMPHITHEATER

PROJECT LOCATION/ADDRESS:
TRUMAN WATERFRONT PARK

SUB-CONSULTANT INFORMATION:
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Certificate of Authorization No. 8579

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ALLEN E. PEREZ, P.E.
FLORIDA 51468

SUBMITTAL DESCRIPTION / MILESTONE:

BID SET
OCTOBER 21, 2016

REVISIONS:

DRAWING SHEET INFORMATION

BA PROJECT NO.:	15019
SCALE:	1" = 30'
DATE:	
DRAWN BY:	KJO
CHECKED BY:	RPH

DRAWING TITLE:
SITE DEMOLITION AND EROSION CONTROL PLAN
SHEET NO.

C-01

DEMOLITION NOTES:

- A. COORDINATE WORK WITH UTILITY COMPANIES; NOTIFY BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS; OBTAIN REQUIRED PERMITS.
- B. PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE.
- C. DO NOT DISRUPT PUBLIC UTILITIES WITHOUT PERMIT FROM AUTHORITY HAVING JURISDICTION.
- D. DO NOT CLOSE, SHUT OFF, OR DISRUPT EXISTING LIFE SAFETY SYSTEMS THAT ARE IN USE WITHOUT AT LEAST 7 DAYS PRIOR WRITTEN NOTIFICATION TO THE OWNER'S REPRESENTATIVE AND AUTHORITIES HAVING JURISDICTION.
- E. DO NOT CLOSE, SHUT OFF, OR DISRUPT EXISTING UTILITY BRANCHES OR TAKE-OFFS THAT ARE IN USE WITHOUT AT LEAST 3 DAYS PRIOR WRITTEN NOTIFICATION TO THE OWNER'S REPRESENTATIVE.
- F. CONTRACTOR SHALL LOCATE AND MARK UTILITIES TO REMAIN; MARK USING HIGHLY VISIBLE TAGS OR FLAGS, WITH IDENTIFICATION OF UTILITY TYPE; PROTECT FROM DAMAGE DUE TO SUBSEQUENT CONSTRUCTION, USING SUBSTANTIAL BARRICADES IF NECESSARY.
- G. REMOVE EXPOSED PIPING, VALVES, METERS, EQUIPMENT, SUPPORTS, AND FOUNDATIONS OF DISCONNECTED AND ABANDONED UTILITIES.
- H. DO NOT BEGIN REMOVAL UNTIL VEGETATION TO BE RELOCATED HAS BEEN REMOVED AND SPECIFIED MEASURES HAVE BEEN TAKEN TO PROTECT VEGETATION TO REMAIN.
- I. PROTECT EXISTING STRUCTURES AND OTHER ELEMENTS THAT ARE NOT TO BE REMOVED.
- J. MINIMIZE PRODUCTION OF DUST DUE TO DEMOLITION OPERATIONS.
- K. CONTRACTOR SHALL ADJUST THE RIMS, GRATES, TOPS, OF ALL EXISTING STRUCTURES TO REMAIN TO MATCH PROPOSED GRADES.

SWPPP GENERAL NOTES

- ALL AREAS WITHIN THE PROJECT LIMITS WILL BE SUBJECTED TO SOIL DISTURBANCE.
- THE ATTACHED BEST MANAGEMENT PRACTICES (BMP'S) DETAILS AND SPECIFICATIONS ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE BEST MANAGEMENT PRACTICES AS OUTLINED IN THE CIVIL DOCUMENTS, THE STORMWATER POLLUTION PREVENTION PLAN, AND SPECIFICATION.
- ANY ITEMS LISTED UNDER THE ABOVE REFERENCED KEYNOTES AS "CONTRACTOR TO LOCATE" SHALL BE DETERMINED BY CONTRACTOR IN ACCORDANCE WITH APPLICABLE CONSTRUCTION SCHEDULING.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE "CONTAMINATED GROUNDWATER & SOILS MANAGEMENT PLAN" PREPARED BY E-SCIENCES, INC.
- THE CONTRACTOR SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.

SWPPP SITE MAP KEY NOTES

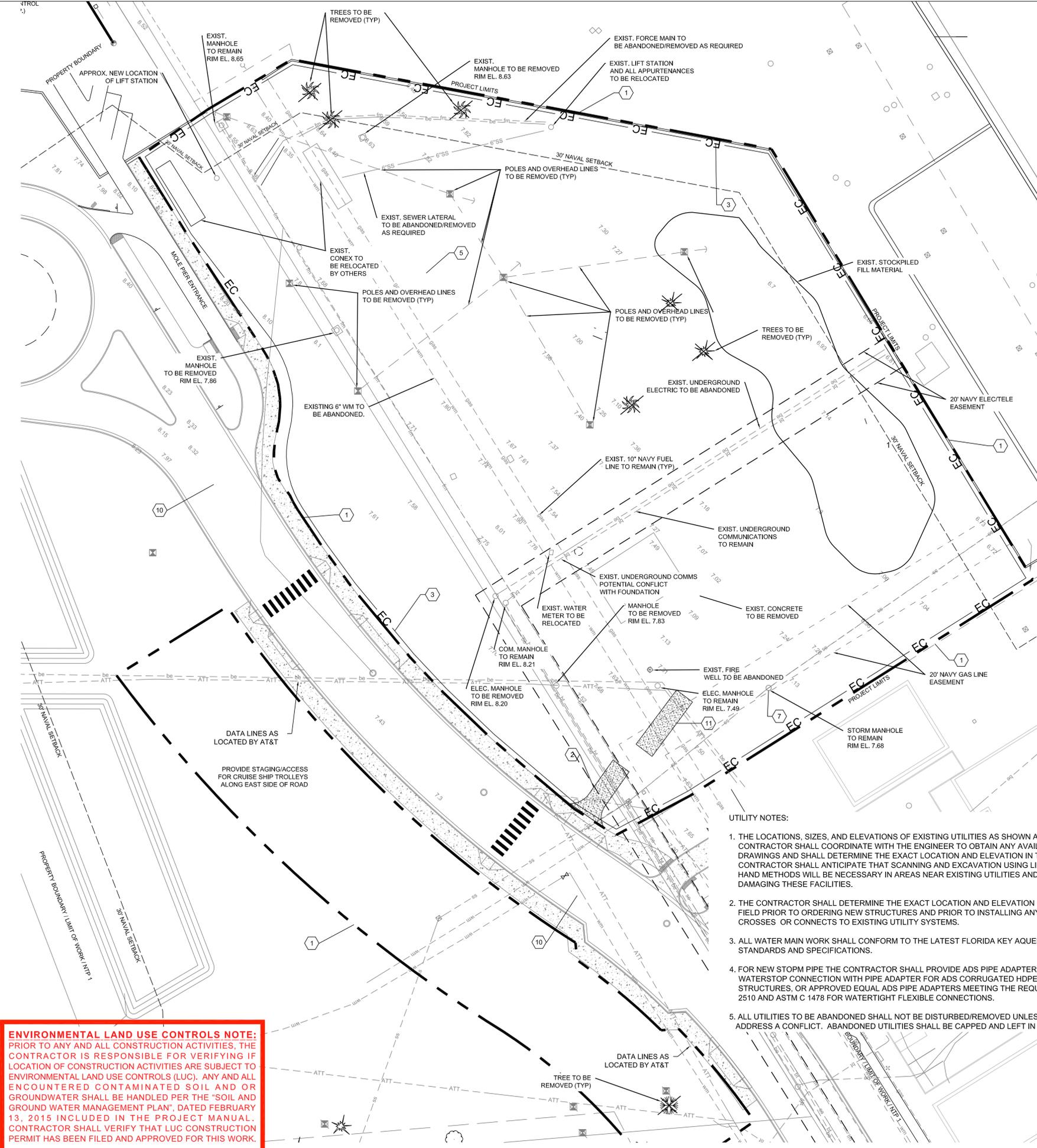
- 1 PROJECT BOUNDARY
- 2 GRAVEL CONSTRUCTION DRIVEWAY
- 3 EROSION CONTROL MEASURES
- 4 TEMPORARY SANITARY SERVICES (CONTRACTOR TO LOCATE)
- 5 DRAINAGE PATTERNS AFTER MAJOR GRADING, TYP.
- 6 TRENCH DEWATERING LOCATIONS
- 7 STORM STRUCTURE TO BE PROTECTED DURING CONSTRUCTION
- 8 NOT USED
- 9 DIRECTION OF POSSIBLE OFF-SITE RUNOFF
- 10 STREET SWEEPING (WHERE NEEDED)
- 11 TRUCK WASHDOWN LOCATION

EROSION CONTROL NOTES

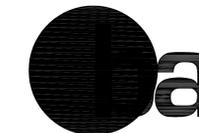
- 1. EROSION, SEDIMENT, AND TURBIDITY CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACES THROUGHOUT CONSTRUCTION AND UNTIL A STABLE SURFACE CONDITION EXISTS. THE CONTRACTOR SHALL MINIMIZE THE EXPOSED AREA AT ANY POINT DURING CONSTRUCTION AS MUCH AS PRACTICAL.
- 2. FILTER FABRIC SILT FENCE SHALL BE IN CONFORMANCE WITH SECTION 985, FDOT SPECIFICATION.
- 3. CONTRACTOR SHALL INSTALL EROSION CONTROLS NOTED ON DRAWINGS AND APPLICABLE PERMITS. EROSION CONTROLS SHALL BE MAINTAINED UNTIL A PERMANENT STAND OF GRASS IS PLANTED ONSITE.
- 4. BALED HAY OR STRAW BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH FDOT INDEX NO. 103.
- 5. SILT FENCE LOCATIONS SHOWN HEREON ARE FOR CLARITY ONLY AND SHOULD BE CONSTRUCTED WITHIN PROPERTY LINES.
- 6. PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED SILT FENCES AND FILTER SOCK ALONG THE PROPOSED LIMITS OF CONSTRUCTION AS INDICATED ON THE DRAWINGS. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OR WATER BODIES) AND OFF-SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURES DAILY UNTIL CONSTRUCTION ACCEPTANCE BY THE OWNER AND THEN REMOVE AND LEGALLY DISPOSE OF SAID MEASURES.
- 7. EROSION CONTROL SHALL MAINTAINED WITHIN CONSTRUCTION AREA BY QUICKLY STABILIZING DISTURBED AREA TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING GRASS COVER, FILTER SOCK AND OTHER MEANS ACCEPTABLE TO OWNER, ENGINEER AND REGULATORY AGENCIES.
- 8. DURING CONSTRUCTION, THE CONTRACTOR SHALL, AT THE REQUEST OF THE OWNER OR AS NECESSARY MODIFY, RELOCATE THE ENVIRO-FENCE AND/OR SILT FENCE TO ALLOW FOR ACCESS AND TO COMPLETE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AT ALL TIMES.
- 9. DURING CONSTRUCTION, THE CONTRACTOR WILL PROVIDE TEMPORARY SEEDING AND MULCHING FOR AREA THAT HAVE BEEN CLEARED (INCLUDING AREAS OF CONCRETE AND PAVEMENT REMOVAL) AND NOT REWORKED WITHIN 7 CALENDAR DAYS DURING THE WET SEASON (APRIL THROUGH SEPTEMBER AND 14 CALENDAR DAYS DURING THE DRY SEASON (OCTOBER THROUGH MARCH). ALSO, ALL SIDE SLOPES SHALL BE SODDED OR SEEDED AND MULCHED WITHIN 7 DAYS DURING WET SEASON AND 14 DAYS DURING THE DRY SEASON.
- 10. ALL SURFACE WATER DISCHARGE FROM SITE, INCLUDING DEWATERING DISCHARGE SHALL MEET STATE WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATERS OF THE STATE INCLUDING WETLAND.
- 11. IN THE EVENT THAT THE EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THESE PLANS PROVE NOT TO BE EFFECTIVE, ALTERNATE METHODS FOR MAINTAINING STATE WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED. ANY ALTERNATE EROSION PREVENTION AND CONTROL DEVICES MUST BE APPROVED BY THE CITY AND SFWMD COMPLIANCE PERSONNEL PRIOR TO PLACEMENT.

UTILITY NOTES:

- 1. THE LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL ANTICIPATE THAT SCANNING AND EXCAVATION USING LIGHT EQUIPMENT AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGING THESE FACILITIES.
- 2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF UTILITIES IN THE FIELD PRIOR TO ORDERING NEW STRUCTURES AND PRIOR TO INSTALLING ANY NEW WORK THAT CROSSES OR CONNECTS TO EXISTING UTILITY SYSTEMS.
- 3. ALL WATER MAIN WORK SHALL CONFORM TO THE LATEST FLORIDA KEY AQUEDUCT AUTHORITY'S STANDARDS AND SPECIFICATIONS.
- 4. FOR NEW STOPM PIPE THE CONTRACTOR SHALL PROVIDE ADS PIPE ADAPTER FLEXIBLE WATERTIGHT WATERSTOP CONNECTION WITH PIPE ADAPTER FOR ADS CORRUGATED HDPE PIPE TO STORM STRUCTURES, OR APPROVED EQUAL ADS PIPE ADAPTERS MEETING THE REQUIREMENTS OF ASTM F 2510 AND ASTM C 1478 FOR WATERTIGHT FLEXIBLE CONNECTIONS.
- 5. ALL UTILITIES TO BE ABANDONED SHALL NOT BE DISTURBED/REMOVED UNLESS REQUIRED TO ADDRESS A CONFLICT. ABANDONED UTILITIES SHALL BE CAPPED AND LEFT IN PLACE.



ENVIRONMENTAL LAND USE CONTROLS NOTE:
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PREPARED FOR/OWNER:
CITY OF KEY WEST, FL
P. O. BOX 1409
3140 FLAGLER AVENUE
KEY WEST, FL 33041



PROJECT NAME:
TRUMAN WATERFRONT PARK AMPHITHEATER

PROJECT LOCATION/ADDRESS:
TRUMAN WATERFRONT PARK

SUB-CONSULTANT INFORMATION:
PEREZ ENGINEERING & DEVELOPMENT, INC.

Certificate of Authorization No. 8579

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PROFESSIONAL SEAL:

ALLEN E. PEREZ, P.E.
FLORIDA 51468

SUBMITTAL DESCRIPTION / MILESTONE:

**BID SET
OCTOBER 21, 2016**

REVISIONS:

DRAWING SHEET INFORMATION

BA PROJECT NO.: 15019

SCALE: 1" = 30'

DATE:

DRAWN BY: KJO

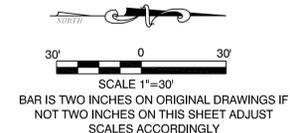
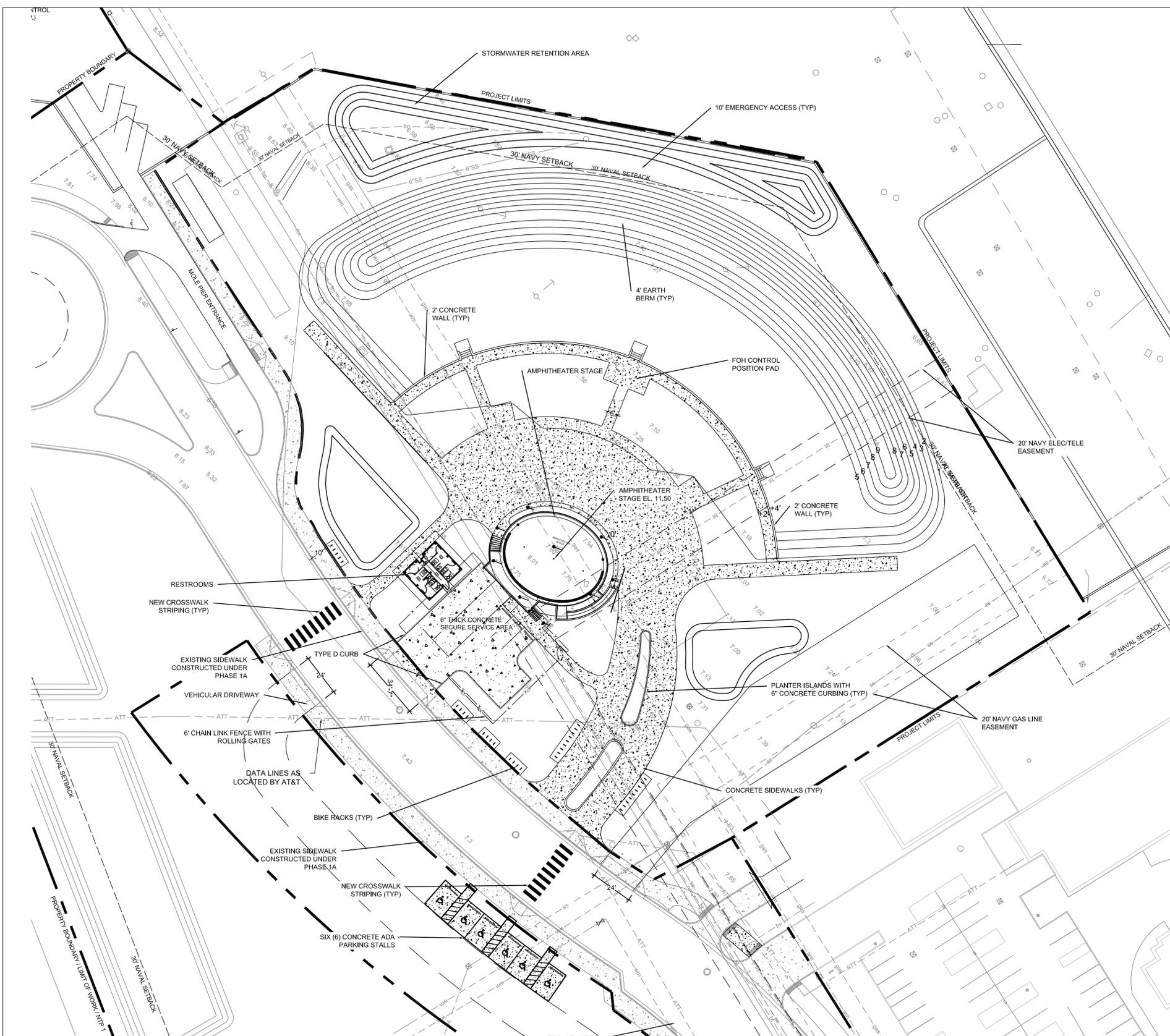
CHECKED BY: RPH

DRAWING TITLE:

SITE PLAN

SHEET NO.

C-02



GENERAL NOTES

1. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS AND ADVISE THE ENGINEER OF ANY CONFLICTS OF REPRESENTATION BETWEEN DRAWINGS AND/OR SPECIFICATIONS PRIOR TO COMMENCING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING ANY WORK UNDER THIS CONTRACT AND NOTIFY THE ENGINEER IN WRITING OF ANY DIFFERENCES BEFORE COMMENCING WITH ANY CONSTRUCTION.
3. HORIZONTAL COORDINATES ARE BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM. VERTICAL ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
4. THE LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL ANTICIPATE THAT SCANNING AND EXCAVATION USING LIGHT EQUIPMENT AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGING THESE FACILITIES. THE CONTRACTOR SHALL CONTACT BELLSOUTH, THE LOCAL TELEPHONE COMPANY AND COMCAST, THE LOCAL CABLE TV PROVIDER TO VERIFY THE LOCATION OF BURIED TELEPHONE AND CABLE TV UTILITIES. NONE HAVE BEEN INDICATED ON THE DRAWINGS. CALL 1-800-432-4770 BEFORE DIGGING OR TRENCHING OPERATIONS BEGIN. CONTRACTOR SHALL ALSO CONTACT KEYS ENERGY TO LOCATE SECONDARY ELECTRIC LINES.
5. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD PRIOR TO INSTALLING ANY NEW WORK THAT CROSSES OR CONNECTS TO EXISTING UTILITY SYSTEMS. LOCATIONS OF NEW UTILITIES SHALL BE ADJUSTED IN A MANNER APPROVED BY THE ENGINEER TO AVOID CONFLICTS. DAMAGES TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
6. ALL EXCAVATION, TRENCHING, SHEETING, SHORING AND BRACING SHALL BE INSTALLED AS REQUIRED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS, INCLUDING OSHA (29 CFR 1926).
7. ALL ITEMS INDICATED TO BE REMOVED OR DEMOLISHED SHALL BE REVIEWED WITH THE OWNER TO DETERMINE IF THE ITEM IS TO BE PROPERTY OF THE CONTRACTOR. ALL ITEMS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, UNLESS OTHERWISE NOTED. NO SALVAGE VALUE IS EXPRESSED OR IMPLIED BY THESE CONTRACT DOCUMENTS FOR ANY ITEMS TO BE REMOVED OR DEMOLISHED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE CONTRACTOR'S EQUIPMENT, MATERIALS, AND PERSONNEL, AND SHALL PROVIDE ADEQUATE BARRIERS TO PREVENT RISK TO OTHERS FROM THE CONTRACTOR'S ACTIVITIES.
9. WHERE ACTUAL DIMENSIONS AND SIZES ARE PROVIDED IN THE DRAWINGS, THEY SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
10. THE CONTRACTOR SHALL SEQUENCE HIS OPERATIONS SUCH THAT ORANGE MESH SAFETY FENCING IS PROVIDED ALONG ALL AREAS BEING TRENCHED AND NO TRENCH IS LEFT OPEN AT THE END OF THE WORK DAY.
11. NO CONNECTIONS FOR THE PURPOSE OF OBTAINING WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE TO ANY FIRE HYDRANT OR BLOW-OFF STRUCTURE WITHOUT FIRST OBTAINING A CONSTRUCTION METER FROM THE FLORIDA KEYS AQUEDUCT AUTHORITY.
12. IF UNSATISFACTORY MATERIAL FOR ADEQUATE BEARING IS ENCOUNTERED AT THE NORMAL SUBGRADE, THE UNSATISFACTORY MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE FOUNDATION STABILIZATION MATERIAL AS SPECIFIED. REMOVE SOILS AND OTHER MATERIALS THAT ARE NOT SUITABLE MATERIALS FOR TRENCH BOTTOM TO SIX INCHES UNDER PIPE, MINIMUM.

REMOVE WET, YIELDING, OR MUCKY SOILS. REMOVE THE FOLLOWING SOILS:
a. TYPE CH AND TYPE MH CLASS IV SOILS.
b. ALL CLASS V SOILS.

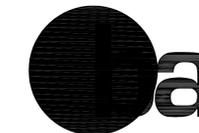
REMOVE ORGANIC MATERIAL INCLUDING ROOTS, MULCH, OR OTHER VEGETABLE MATTER, WHICH IN THE OPINION OF THE ENGINEER, WILL RESULT IN UNSATISFACTORY FOUNDATION CONDITIONS.

REMOVE SOILS CONTAINING COBBLES, BOULDERS OR STONES LARGER THAN ONE AND ONE-HALF INCHES (1-1/2") IN DIAMETER.

REMOVE LEDGE ROCK AND HARDPAN. REMOVE ROCK AND HARDPAN TO PROVIDE BEDDING WIDTH 24 INCHES WIDER THAN PIPE.

REMOVE SOILS CONTAINING RUBBISH, TRASH, OR OTHER FOREIGN MATERIALS.
13. IN GENERAL, EXISTING STRUCTURES AND UTILITIES ARE NOTED AS EXISTING AND/OR SHOWN IN LIGHT LINE WEIGHT. NEW CONSTRUCTION IS SHOWN IN HEAVY LINE WEIGHT.
14. ALL FIELD LAYOUT AND SURVEYING FOR CONSTRUCTION OF THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR AT HIS EXPENSE, UNDER THE DIRECTION OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.

ENVIRONMENTAL LAND USE CONTROLS NOTE:
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PROFESSIONAL SEAL:

ALLEN E. PEREZ, P.E.
FLORIDA 51468

SUBMITTAL DESCRIPTION / MILESTONE:

**BID SET
OCTOBER 21, 2016**

REVISIONS:

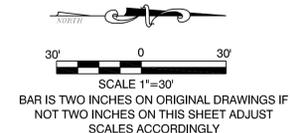
DRAWING SHEET INFORMATION
BA PROJECT NO.: 15019
SCALE: 1" = 30'
DATE:
DRAWN BY: KJO
CHECKED BY: RPH

DRAWING TITLE:
**PAVING, GRADING
AND DRAINAGE
PLAN**
SHEET NO.

C-03

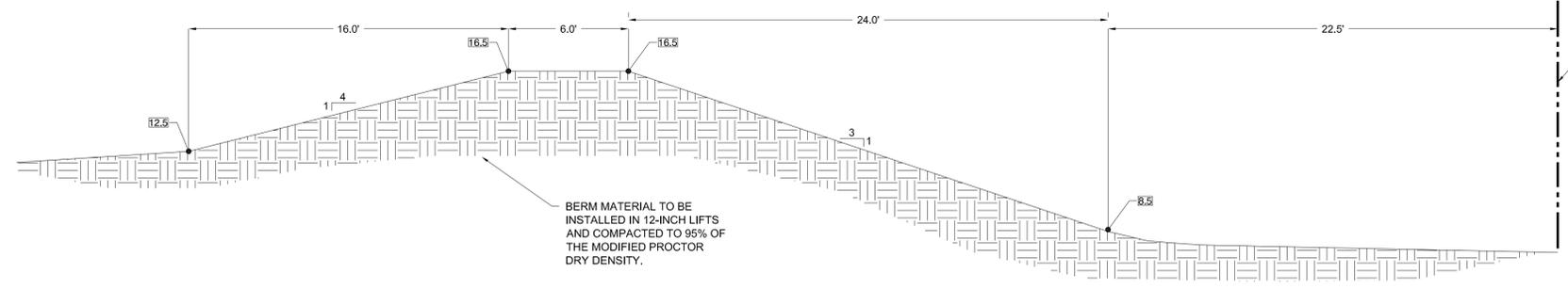
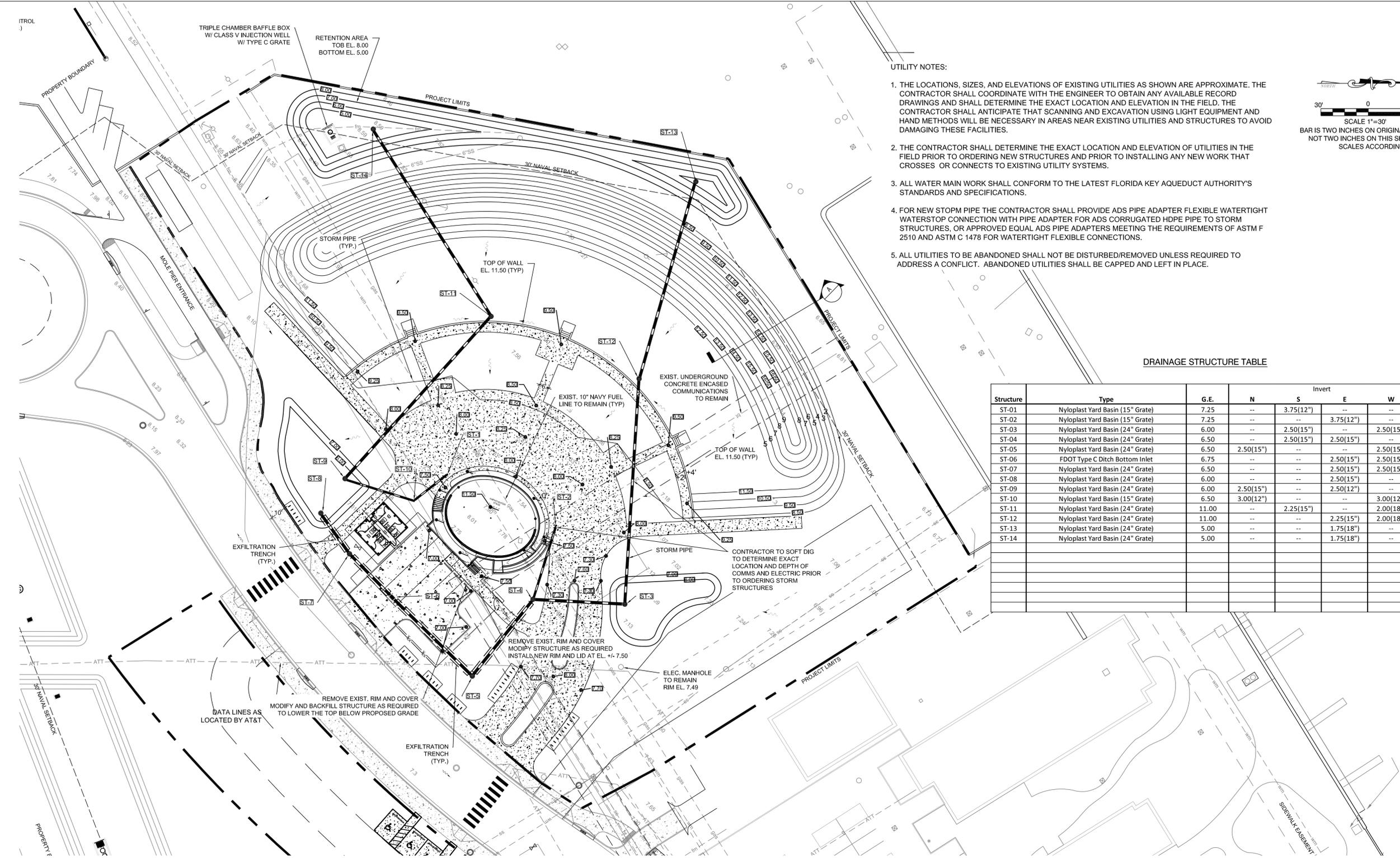
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DRAINAGE STRUCTURE TABLE

Structure	Type	G.E.	Invert			
			N	S	E	W
ST-01	Nyloplast Yard Basin (15" Grate)	7.25	--	3.75(12")	--	--
ST-02	Nyloplast Yard Basin (15" Grate)	7.25	--	--	3.75(12")	--
ST-03	Nyloplast Yard Basin (24" Grate)	6.00	--	2.50(15")	--	2.50(15")
ST-04	Nyloplast Yard Basin (24" Grate)	6.50	--	2.50(15")	2.50(15")	--
ST-05	Nyloplast Yard Basin (24" Grate)	6.50	2.50(15")	--	--	2.50(15")
ST-06	FDOT Type C Ditch Bottom Inlet	6.75	--	--	2.50(15")	2.50(15")
ST-07	Nyloplast Yard Basin (24" Grate)	6.50	--	--	2.50(15")	2.50(15")
ST-08	Nyloplast Yard Basin (24" Grate)	6.00	--	--	2.50(15")	--
ST-09	Nyloplast Yard Basin (24" Grate)	6.00	2.50(15")	--	2.50(12")	--
ST-10	Nyloplast Yard Basin (15" Grate)	6.50	3.00(12")	--	--	3.00(12")
ST-11	Nyloplast Yard Basin (24" Grate)	11.00	--	2.25(15")	--	2.00(18")
ST-12	Nyloplast Yard Basin (24" Grate)	11.00	--	--	2.25(15")	2.00(18")
ST-13	Nyloplast Yard Basin (24" Grate)	5.00	--	--	1.75(18")	--
ST-14	Nyloplast Yard Basin (24" Grate)	5.00	--	--	1.75(18")	--



A Berm Cross Section
NOT TO SCALE

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