



THE CITY OF KEY WEST

ADDENDUM NO. 1  
TO THE CONTRACT DOCUMENTS Project No.: 439197  
for the construction of the

Date: February 18, 2016

ITB#: 016-002, EN-1002

**REPAIRS AND IMPROVEMENTS AT ZERO DUVAL AND MALLORY SQUARE**

**CITY OF KEY WEST  
KEY WEST, FLORIDA**

**To All Plan holders and/or Prospective Bidders:**

The following changes, additions, and/or deletions are hereby made a part of the Contract Documents for the construction of the REPAIRS AND IMPROVEMENTS AT ZERO DUVAL AND MALLORY SQUARE dated January 2016 as fully and completely as if the same were fully set forth therein:

**PRE-BID MEETING**

1. Attached is the meeting minutes from the pre-bid meeting held on February 4, 2016.
2. Attached is a copy of the sign-in sheet from the pre-bid meeting.

**SPECIFICATIONS**

**PART 1—PROCUREMENT REQUIREMENTS**

**SECTION 00 41 13 – BID FORM**

REPLACE the existing Section 00 41 13 BID FORM dated January 2016 in its entirety with the attached dated February 18, 2016.

**PART 3—SPECIFICATIONS**

**SECTION 01 29 00 – PAYMENT PROCEDURES**

ADD the following Article 1.09 Alternates to existing Specification Section 01 29 00 PAYMENT PROCEDURE dated January 2016.

**1.09 ALTERNATES**

- A. Coordinate related Work and modify or adjust adjacent Work as necessary to ensure that Work affected by each accepted Alternate is complete and fully integrated into the Project.
- B. Immediately following the Award of the Contract, prepare and distribute to each party involved, notification of the status of each Alternate.

C. Include as part of each Alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not mentioned as part of the Alternate.

D. Schedule of Alternates:

1. Alternate No. 1 – New Timber Piles (Each): This Alternate is an additive Alternate which will be added to the Base Bid (if selected). The intent of this Alternate is to allow the City to have new piles reconstructed for the Fury Dock to replace the existing deteriorating or fractured piles. As part of this Alternate, the price will be the represented change in price to:
  - a. Remove old pile from location identified and legally dispose of offsite.
  - b. Provide new 16 inch diameter marine grade pressure treated pile.
  - c. Install vertical and true to a tip elevation of 15 feet minimum into limerock or -35 feet below water surface whichever is deeper.
  - d. Top of pile shall be at elevation necessary to serve as columns and roof framing supports for the dock roof decking (match existing).

### QUESTIONS AND ANSWERS

1. Mallory: Are construction joints allowed on Dolphin structure (i.e. for pre-casting purposes of a portion of the dolphin followed by a final cast-in-place pour, provided proper methodology of construction is provided and approved).

RESPONSE: This proposal is acceptable and will be considered subject to an acceptable plan presented by Contractor.

2. Mallory: What are the construction limits on the water side in front of the Mallory Square Pier (i.e. how big of an area can be occupied by floating equipment).

RESPONSE: Construction limits on the waterside will be limited to the width of the barge along the length of the T-pier. Equipment shall be tied properly, moored and lit according to Coast Guard Standards while berthed along the pier. During construction and while workers are present, barge may be offset off the face of pier and spudded down as necessary to allow construction. Upon completion of work for the day, barge shall be placed adjacent to the pier again and tied as a typical floating vessel. Subject to Navy approval, the Contractor will relocate the barge on weekends to the East Quay pier at the Truman Waterfront.

3. Mallory: can floating equipment stay overnight in front of the Mallory Square Pier (given proper Nav. Lights are provided per USCG requirements).

RESPONSE: Yes, the T-pier can be used for mooring of floating equipment at night providing U.S. Coast Guard lighting is provided and adequate tie-down provisions are made.

4. Mallory: will the entire Pier area be made available to the contractor, including access from the land side? If so, can the pier be use for temporary storage purposes during construction?

RESPONSE: The length of the north-south run of the T-pier will be made available for storage of contractor's materials and equipment provided that it does not exceed 5-feet in height stacked. Weight of materials on the pier shall not exceed a uniform load of 200 PSF. Contractor shall keep loads below this value and shall protect the piers, pavers, and finish from damage by construction use. All other equipment and materials shall be stored on the Contractor's barge and may not be stored upland or in the general area of Mallory Square. Should Contractor require additional space beyond the barge and pier, upland land may be available by the City for a leased rate upon coordination with the City.

5. Zero Duval: What are the construction limits on the water side in front of the Zero Duval bulkhead? Sheet DS-100 seems to be showing the limit to be around 48-50' wide, but how far offshore away from the bulkhead can be occupied by floating equipment. Are we also limited to that 48'-50' width along the bulkhead line?

RESPONSE: The waterside Construction limits for Zero Duval portion of the project shall be limited to the area identified on Sheet G-003 as Submerged Lease Area. This is the dashed lines in the water approximately 50 feet wide by 90 feet long. All facilities adjacent to and surrounding the construction work shall remain open and actively operational during construction including the Jet Ski and boat rental area.

6. Zero Duval: There is a sports-landing (i.e. JetSki's landing) on the left/west side of the bulkhead; will it remain operational or will it also be closed during construction? If it is to remain open, what are the limits/clearance that needs to be maintain in front of the landing (water side) with floating equipment?

RESPONSE: All construction work and equipment shall be kept within the limits of construction waterside as identified in Question No. 5.

7. Zero Duval: Existing Dock on the right/East side of the Zero Duval bulkhead; will it remain operational or will it also be closed during construction? If it is to remain open, what are the limits/clearance that needs to be maintain in front of the docks along the East side of the marina?

RESPONSE: See response to No. 6.

8. Zero Duval: The Timber pile dolphin seems to be almost dead center in front of the Duval bulkhead and may interfere with floating equipment's (i.e. crane barge). Is that timber dolphin to remain? If so, can contractor temporarily remove the dolphin and replace it at the end?

RESPONSE: Timber Dolphins shall remain in place throughout construction and may not be removed and reinstalled. Contractor shall work within the limits provided in Question 5 and shall not interfere with any existing structures other than those required under the Contract to be removed and replaced. Contractor may move their barge to either side of the existing dolphins, as required during construction, so long as they do not block access to the surrounding areas that will remain open and operational during construction. See response to Question No. 6.

9. Zero Duval: will contractors be allowed to temporarily block the entrance access to the Marina area (i.e. in order to temporarily remove the timber pile and re-install it). If not, what would be the minimum area that needs to be left open for smaller vessels traffic?

RESPONSE: Blockages and impairment to adjacent property owners and businesses shall be coordinated in detail with the City well in advance of the blockage. Contractor will be limited to the area identified in Question 5 unless mutually agreed upon during construction without impeding operations and business activities of adjacent facilities.

10. Zero Duval: Can the perimeter fence (jersey barrier/fence) be extended another 14' back (i.e. up to the first light pole that will be directly in front of the "Ticket Building" once temporarily relocated), making the Jersey barrier go not only along the back of the ticket building but also around the left side (still keeping the ticket building outside the construction area). Current space does not appear to be enough area in order to properly and safely perform the necessary works.

RESPONSE: Temporary Jersey barrier and fence on the south side of the laydown area may be moved to align with the south face of the relocated ticket shack. Area may not be made larger than this. This puts the temporary fence along the back of the ticket building but also around the left side and parallel with the south face of the relocated booth (still keeping the ticket building outside the construction area).

11. Will the city also be providing their own vibration monitoring during driving operations? Has the City perform a condition survey of the nearby areas/structures?

RESPONSE: No, City will not be providing independent monitoring. Contractor is require to provide monitoring per 31 41 17 – 3.01 B. Contractor shall make these records and recordings available to the City. In addition to the Vibration Monitoring, Contractor and City will conduct an initial inspection prior to construction of surrounding areas and document information as mutually agreed upon for this exercise per 02 41 00 – 1.03 D.

12. Please confirm that notwithstanding Page 10 of 340 A. City of Key West Tax License, Page 131 of 340 5.04A and 5.04B J.1, the signor of bonds, insurance contracts, and certificates of insurance, does not have to keep an office in Florida, provided that the insurer or surety complies with all requirements to do business in Florida.

RESPONSE: Based on discussion with the City Legal Department, the signor of bonds, insurance contracts, and certificates of insurance, does not have to keep an office in Florida, provided that the insurer or surety complies with all requirements to do business in Florida.

13. Reference Instructions to Bidders, section 00 21 13, page 4: "Contractor is required to have a Certified or registered Electrical Contractors City of Key West license and a Certified or Registered General Contractors City of Key West Business Tax Receipt", considering the scope of the project, is the Electrical Contractors City of Key West license required?

RESPONSE: Licensing is required as stipulated. There will be electrical work at the Zero Duval location that requires permitting and is to be performed by a Florida licensed electrician registered with the City of Key West.

14. Reference Bid Form, Start of Construction and Contract Completion Times: Please detail start date and duration of time when dock at Duval will be free of boat traffic.

RESPONSE: No boats, ferries, glass bottom tour vessels will be present or utilizing the Zero Duval dock for the duration of construction. The City has negotiated a new location for the vessel away from the construction area. However, ticketing and tour purchases will still be conducted at the relocated ticket booth.

15. Reference sheet DS-100, key note 8: Leader arrow indicates water line on outside face of dock. For proper pricing please indicate size and location of water line.

RESPONSE: As-built information of the existing water main and water system is not available. Pipe is observable upon site walk-through. For the purposes of bidding, the Contractor shall assume all piping for the water system on the dock shall be 1 – 1-1/2 inch piping. Connection to the closest adjacent main will be required. Final construction of this water system shall be in accordance with the received Building Permit that is the responsibility of the Contractor to obtain as part of the dock replacement portion of this work.

16. Reference sheet DS-100, key note 11: Note calls for excavation and inspection of pipe. There are no details of the condition of pipe or extent of repairs. What is the basis for pricing of pipe repair?

RESPONSE: The clouded area on Sheets DS-100 that is marked with Key Note No. 11 is the limits of the pipe repair portion of this work. Contractor shall assume that the full length and perimeter of the pipe within this area will require repair as defined in Key Note No. 11.

17. Reference sheet DS-301, details 1 and 2; sheet DS-503, detail 4: Details of sheet DS-301 show T.O.C= 3'-4", T.O.SSP= 2'-7". Detail of sheet DS-503 shows T.O.C.= 4'-0", T.O.SSP= 3'-3". Which detail is correct?

RESPONSE: The intent is for the concrete cap to fall below the bottom of the lowest wood member of the rebuilt wood dock. Top of concrete (TOC) is to match existing as noted (Approx. 3'-4" is the correct elevation – verify in field). TOS is to be 9" below TOC (therefore 2'-7" is correct). The 4'-0" elevation noted in the survey is the top of timber deck over the existing TOC bulkhead cap. The bottom of cap shall be lowered to Elevation minus 1'-8" to accommodate cap being lowered to Elevation 3'-4". This is subject to change based upon field conditions during construction.

18. Provide high and low tide levels.

RESPONSE: According to LABINS the tides are:

MHW = -0.25' NAVD 88

MLW = -1.42' NAVD 88

Actual high and low levels may vary daily and Contractor should refer to appropriate tide tables. Use survey on sheet G-003 for NAVD 88 benchmark and elevations comparison.

19. Reference sheet MS-501, detail 2: Elevation call outs detail T.O.C= 6.0, B.O.C= -0.67? Horizontal dimension shown as 16'-0" wide x 28'-0" long. Assuming the elevations are correct, dimension should be 6'-8". Please confirm. Provide high and low tide levels as they relate to elevations shown.

RESPONSE: Refer to G-004 for survey information with respect to the pier. See response to question 18 for tides. Total depth of cap is 6'-8".

20. Reference general requirements, section 03 10 00, 3.05.D: Note dictates that side forms can be removed after 24 hours. Are there additional requirements that would prohibit form removal due to concrete's exposure to salt water?

RESPONSE: Specifications indicate that forms of concrete member that support their own weight (this include pile cap for the dolphin and SSP caps) will not be stripped until the concrete has acquired 75% of its 28-day design strength. Only forms of concrete that do not support its own weight (such as curbs) can be stripped within 24 hours. A curing membrane shall be immediately applied.

21. Will the contractor be given a lay down area for the project? If so, please provide size and location.

RESPONSE: Laydown for Mallory is as defined in Question 4. Laydown for Zero Duval is as defined in Question 10.

22. Will the Dock at end of Duval be re-built on the existing piles?

RESPONSE: Under the base bid, the existing piles are to remain and be reused as part of the dock replacement. This addendum includes an alternate bid item has been added as part of this addendum to replace each of the four piles in their entirety.

23. Can obtained permits be included to the contract via addenda?

RESPONSE: Refer to Part 4 of the Volume 1 Specifications.

24. Can you clarify relocation of the Fury Ticket Booth, as well as Berthing for the Fury Glass Bottom Boat?

RESPONSE: The ticket booth shall be relocated to the location indicated in the drawings. See Sheet DS-100 – Note 5. Contractor is responsible for this relocation. The Fury Boat will be relocated to a remote location and will not interfere with the construction of Zero Duval.

25. Are the original T-Pier drawings available? We are looking for existing pile information.

RESPONSE: Original T-Pier as-built construction drawings dated April 12, 1985 are included with this addendum. Considering 30 years have elapsed since construction, existing conditions may vary from those depicted in the drawings.

26. Concerning the crack on the Fascia of the T-Pier. If it is deep,  $\geq 8"$ , how is the repair to be handled?

RESPONSE: As part of the base bid, hammer out the loose concrete to sound concrete and repair spall using epoxy grout full depth and width of spall.

26. Concerning the crack on the Fascia of the T-Pier. If it is deep,  $\geq 8''$ , how is the repair to be handled?

RESPONSE: As part of the base bid, hammer out the loose concrete to sound concrete and repair spall using epoxy grout full depth and width of spall.



All Bidders shall acknowledge receipt of Addendum No. 1 in the Bid Form. Bids submitted without this acknowledgement will be considered informal.

CH2M

  
Sean McCoy, P.E.

Appended hereto and part of Addendum No. 1:  
Prebid Meeting Minutes and Sign-in Sheet, attached.  
Section 00 41 13, Bid Form  
T-Pier As-built Drawings dated April 12, 1985

END OF ADDENDUM

# PRE-BID MEETING MINUTES

## CITY OF KEY WEST

### Repairs and Improvements at Zero Duval and Mallory Square Old City Hall

Thursday, February 4, 2016 at 1:30 PM

1. Introductions (sign-in)

See Attached

2. Project Summary

The project consists of construction at two nearby sites: Mallory Square and Zero Duval, Key West, Florida. At Mallory Square, project consists of demolition of a portion of the Pier "T" deck and construction of a new breasting dolphin with fender using drilled shaft piling and cast-in-place concrete caps with a fender. At Zero Duval, project consists of the temporary removal of the existing wood dock, construction of a new tied back steel sheet pile wall with large outfall pipe, construction of new concrete cap, placement of flowable fill backfill, reinstallation of wood dock, repair of existing outfall pipe and restoration of existing pavers.

See section 01 11 00 *Summary of Work* for additional details

3. Contract Time and Estimated Schedule

Substantial completion-150 calendar days after notice to proceed

Final Completion-within 30 calendar days after substantial completion

There are specific "no work" block out days to accommodate events in the area

Estimated NTP: April 2, 2016

Bids due: February 24, 2016 at 3:30 PM

**Bidder's questions must be submitted in writing by close of business February 9 12, 2016. Submit questions to;**

Sean McCoy

CH2M HILL

[Sean.Mccoy@ch2m.com](mailto:Sean.Mccoy@ch2m.com)

4. Liquidated Damages

\$3,000/day for failure to meet final completion date

5. Allowance

An unforeseen conditions allowance of \$125,000 is included in the bid schedule for unforeseen conditions and conflicts. Payment of this allowance shall be based on owner and engineer approval and authorized by Work Change Directive.

A permitting allowance of \$40,000 is included in the proposal for payment of the actual costs of any permits required to complete the construction.

A concrete and utility allowance of \$75,000 is included in the proposal for concrete and utility coordination conflicts. Payment of this allowance shall be based on owner and engineer approval and authorized by Work Change Directive.

#### 6. Subcontracting

All other subcontractors including but not limited to electrical, plumbing, carpentry, soil anchors, concrete shall be identified in proposal.

#### 7. Permits

USACE permit has been obtained by the City.

FDEP permit has been obtained by the City.

City of Key West building permits shall be the responsibility of the contractor.

City of Key West license is required for certified or registered electrical and general contractors. (not paid by permit allowance)

Contractor is required to obtain the De-watering permit.

#### 8. Construction Sequencing

Contractor shall submit a construction sequencing plan identifying:

- Permit submittals (Building, Dewatering, Notice of Intent, etc)
- A contractor coordination meeting to address shut down of the facility and the storage of tenant equipment and property - Drawing DS-100
- Relocation or provision of a temporary ticket booth including power and water supply - Drawing DS-100
- Installation of Jersey barriers with fencing to protect the general public from work site area.
- Stormwater System remaining operational at all times.
- Provision of 14 days notice for any required shut downs (if required).
- Proposed Mallory Square storage needs.
- Concrete Pours or times when excessive construction traffic is expected or when at Mallory Square.
- Contractor shall provide surveyed as-built drawings at the end of project.

#### 9. Staging and Parking Areas

Staging - Contractor shall utilize the area as shown on the drawings for Zero Duval and as mutually coordinated for Mallory Square. If additional space is required, contractor

will need to coordinate with the City and obtain approval. Upon completion of construction the lay down area shall be restored to original or better condition.

Parking – Contractor shall utilize Mallory Square parking lot for construction staff parking.

#### 10. Working Hours

City of Key West has a noise ordinance that allows working hours between 8:00 AM to 7:00 PM, Monday through Friday and 9:00 AM to 5:00 PM Saturday.

The City has identified Blackout dates during which no site work shall occur unless approved in advance by the City. See Supplemental Conditions Exhibit K.

#### 11. Job Site Security

Contractor shall be responsible for safety of public and the materials on site. See specification section 010100.

#### 12. Existing Utilities

Contractor is responsible for utility location.

Notify all utility offices which are affected by construction operations a minimum of 48 hrs in advance. Where utility relocation is required in documents, contractor shall coordinate with utility.

#### 13. General Requirements

Public safety and property is of utmost importance.

Contractor shall employ and pay for all independent lab testing as required by the specifications.

Contractor shall verify elevations and location of existing facilities shown on drawings prior to start of construction.

#### 14. Engineers Cost Estimate \$1,700,000

#### 15. City/OMI Comments

Unforeseen and permitting allowances will be proportioned by Work Change Directive to either the T-Pier or Zero Duval as necessary.

#### 16. Contractor Questions/Comments

At end of this document

#### 17. A site visit will be conducted following this meeting.

18. Meeting Adjourned

## **Contractor Questions**

Questions asked during the Pre-bid Meeting are addressed in the addendum as Questions 21 - 26.

# SIGN-IN

## PRE-BID MEETING

City Key West

### Repairs and Improvements at Zero Duval and Mallory Square

Old City Hall

Thursday, February 4, 2016 at 1:30 PM

To insure all contact information is recorded correctly and meeting minutes are sent to the right email address: PLEASE PRINT CLEARLY

Name	Company	Phone No.	Cell Phone	E-mail
Likseed Howell	COLW	305 809 3963	305 490 9354	LHowell@cityofkeywest-fl.gov
Claudio Dominguez	ORION	813-393-8196		CDominguez@ORIONMARINEGROUP.COM
Dario Thornton	OKION	813-393-8210		djthornton2@orionmarinegroup.com
Richard Nuñez	ORION			rnunez@orionmarinegroup.com
Meeris Pauts	Ebsary	786 812 0038		mpauts@ebsaryfoundationco.com
Yosmel Milian	Ebsary	305 967 3977		Ymilian@ebsaryfoundationco.com
CHRIS ERTZ	AMERICAN BRIDGE	813-251-4121	813-765-8823	CERTZ@AMERICANBRIDGE.NET
SEAN MORCEL	FLORIDA OCEAN PRESERV	305-454-3124		kenstardor@GMAFL.COM
Paul Waters	DNHI	305-292-7884	305-777-1091	PaulW@duhiggins.com
JOE STANTON	Shoreline Foundation	305 345 3281	"	JSTANTON@shorelinefoundation.com
T. Justice	CKW	305 809 3963	304-4799	tjustice@
Sean McCoy	ckwm	305 432 9124	305 432 1397	SEAN.MCCOY@ckwm.com

NOTE TO BIDDER: Use preferably BLACK ink for completing this Bid form.

**BID FORM**

To: The City of Key West

Address: 3140 Flagler Avenue, Key West, Florida 33040

Project Title: Repairs and Improvements at Zero Duval and Mallory Square

CH2M HILL Project No.: 439197

City of Key West Project No.: EN-1002

Bidder's person to contact for additional information on this Bid:

Company: \_\_\_\_\_

Name: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

**BIDDER'S DECLARATION AND UNDERSTANDING**

The undersigned, hereinafter called the Bidder, declares that the only persons or parties interested in this Bid are those named herein, that this Bid is, in all respects, fair and without fraud, that it is made without collusion with any official of the Owner, and that the Bid is made without any connection or collusion with any person submitting another Bid on this Contract.

The Bidder further declares that he has carefully examined the Contract Documents for the construction of the project, that he has personally inspected the site, that he has satisfied himself as to the quantities involved, including materials and equipment, and conditions of work involved, including the fact that the description of the quantities of work and materials, as included herein, is brief and is intended only to indicate the general nature of the Work and to identify the said quantities with the detailed requirements of the Contract Documents, and that this Bid is made according to the provisions and under the terms of the Contract Documents, which Documents are hereby made a part of this Bid.

The Bidder further agrees, as evidenced by signing the Bid, which if awarded a Contract, the Florida Trench Safety Act and applicable trench safety standards will be complied with.

CONTRACT EXECUTION AND BONDS

The Bidder agrees that if this Bid is accepted, he will, within 10 days, not including Sundays and legal holidays, after Notice of Award, sign the Contract in the form annexed hereto, and will at that time, deliver to the Owner examples of the Performance Bond and Payment Bond required herein, and evidence of holding required licenses and certificates, and will, to the extent of his Bid, furnish all machinery, tools, apparatus, and other means of construction and do the Work and furnish all the materials necessary to complete all work as specified or indicated in the Contract Documents.

CERTIFICATES OF INSURANCE

Bidder agrees to furnish the Owner, before commencing the Work under this Contract, the certificates of insurance as specified in these Documents.

START OF CONSTRUCTION AND CONTRACT COMPLETION TIMES

The Bidder agrees to begin work within 10 calendar days after the date of the Notice to Proceed (April 15, 2016) when the Contract Times commence to run as provided in paragraph 2.03.A of the General Conditions. Work will be completed and ready for final payment and acceptance in accordance with paragraph 14.07 of the General Conditions on or before November 30, 2016.

LIQUIDATED DAMAGES

In the event the Bidder is awarded the Contract, Owner and Bidder recognize that time is of the essence of this Agreement and that Owner will suffer financial loss if the Work is not completed within the times specified in paragraph Start of Construction and Contract Completion Times above, plus any extensions thereof allowed in accordance with Article 12 of the General Conditions. Owner and Bidder also recognize the delays, expense, and difficulties involved in proving in a legal or other dispute resolution proceeding the actual loss suffered by Owner if the Work is not completed on time. Accordingly, instead of requiring any such proof, Owner and Bidder agree that as liquidated damages for delay (but not as a penalty) Bidder shall pay Owner \$3,000.00 per day for each day that expires after the time specified for final completion.

Owner will recover such liquidated damages by deducting the amount owed from the final payment or any retainage held by Owner.

ADDENDA

The Bidder hereby acknowledges that he has received Addenda No's. \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_ (Bidder shall insert No. of each Addendum received) and agrees that all addenda issued are hereby made part of the Contract Documents, and the Bidder further agrees that his Bid(s) includes all impacts resulting from said addenda.

SALES AND USE TAXES

The Bidder agrees that all federal, state, and local sales and use taxes are included in the stated Bid Prices for the Work. Cash allowances DO NOT include any sales and use tax. Equipment allowance includes taxes as shown in Equipment Suppliers' Bid.

PUBLIC ENTITY CRIMES

"A person or affiliate who has been placed on the convicted vendor list following a conviction for a public entity crime may not submit a bid on a contract to provide any goods or services to a public entity, may not submit a bid on a contract with a public entity for the construction or repair of a public building or public work, may not submit bids on leases of real property to a public entity, may not be awarded or perform work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity and may not transact business with any public entity in excess of the threshold amount provided in Section 287.017, for CATEGORY TWO for a period of 36 months from the date of being placed on the convicted vendor list."

LUMP SUM WORK

The Bidder further proposes to accept as full payment for the Work proposed herein the amounts computed under the provisions of the Contract Documents. For lump sum bid items, it is expressly understood that the amounts are independent of the exact quantities involved. The Bidder agrees that the amounts for lump sum work represent a true measure of labor and materials required to perform the Work, including all allowances for overhead and profit for each type of work called for in these Contract Documents. The amounts shall be shown in both words and figures. In case of discrepancy, the amount shown in words shall govern.

UNFORESEEN CONDITION ALLOWANCE

Bidder further agrees that the amount shown is an estimated amount to be included in the Total Base Bid for unforeseen conditions and conflicts. Bidder further acknowledges that payment will be based on actual costs as determined in conformance with the Contract Documents and as authorized by Change Order. The Owner will negotiate with the Contractor how each Allowance will be spent prior to performing the work.

CONCRETE AND UTILITY ALLOWANCE

Bidder further agrees that the amount shown is an estimated amount to be included in the Total Base Bid for concrete and utility coordination. Bidder further acknowledges that payment will be based on actual costs as determined in conformance with the Contract Documents and as authorized by Change Order. The Owner will negotiate with the Contractor how each Contingency Allowance will be spent prior to performing the work.

PERMIT ALLOWANCE

Bidder further acknowledges that this amount shown is an estimated amount to be included in the Total Base Bid for the Permit required by the City of Key West and any Regulatory Agency Permit(s). Bidder acknowledges that payment will be based on actual cost for the permit(s).

Breakdown of the lump sum bid as provided below is in accordance with the following schedule:

<b>LUMP SUM BID SCHEDULE</b>		
<b>Item No.</b>	<b>Description</b>	<b>Lump Sum Item Price</b>
A.	<b>Zero Duval</b>	
1.	Mobilization	\$ _____
2.	Demolition	\$ _____
3.	Wooden Deck Demolition/ Reconstruction	\$ _____
4.	Sheet Piles	\$ _____
5.	Tie Backs and Walers	\$ _____
6.	Concrete Cap	\$ _____
7.	Backfill/Flowable Fill	\$ _____
8.	Drainage Pipe Extension and Repair	\$ _____
9.	Misc. General	\$ _____
10.	Project Close Out / Demobilization	\$ _____

<b>LUMP SUM BID SCHEDULE</b>		
<b>Item No.</b>	<b>Description</b>	<b>Lump Sum Item Price</b>
	<b>SUBTOTAL 'A'</b>	\$ _____
B.	Mallory	
1.	Mobilization	\$ _____
2.	Demolition	\$ _____
3.	Piling	\$ _____
4.	Concrete	\$ _____
5.	Fenders	\$ _____
6.	Misc. General	\$ _____
7.	Project Close Out / Demobilization	\$ _____
	<b>SUBTOTAL 'B'</b>	\$ _____



Street City State Zip

Name

Street City State Zip

**Surety**

\_\_\_\_\_ whose address is

Street City State Zip

**Bidder**

The name of the Bidder submitting this Bid is \_\_\_\_\_

\_\_\_\_\_ doing business at

Street City State Zip

which is the address to which all communications concerned with this Bid and with the Contract shall be sent.

The names of the principal officers of the corporation submitting this Bid, or of the partnership, or of all persons interested in this Bid as principals are as follows:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**If Sole Proprietor or Partnership**

IN WITNESS hereto the undersigned has set his (its) hand this \_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
Signature of Bidder

\_\_\_\_\_  
Title

**If Corporation**

IN WITNESS WHEREOF the undersigned corporation has caused this instrument to be executed and its seal affixed by its duly authorized officers this \_\_\_ day of \_\_\_\_\_ 20\_\_.

(SEAL)

\_\_\_\_\_  
Name of Corporation

By: \_\_\_\_\_

Title: \_\_\_\_\_

Attest: \_\_\_\_\_

Secretary

**END OF SECTION**

# DOCKING FACILITY REST AND BERTHING PILE INSTAL

## CITY OF KEY WEST, FLO

### CITY OFFICIALS

RICHARD HEYMAN (MAYOR)  
JOE BALBONTIN  
EMMA CATES  
JIMMY MIRA  
GEORGE HALLORAN

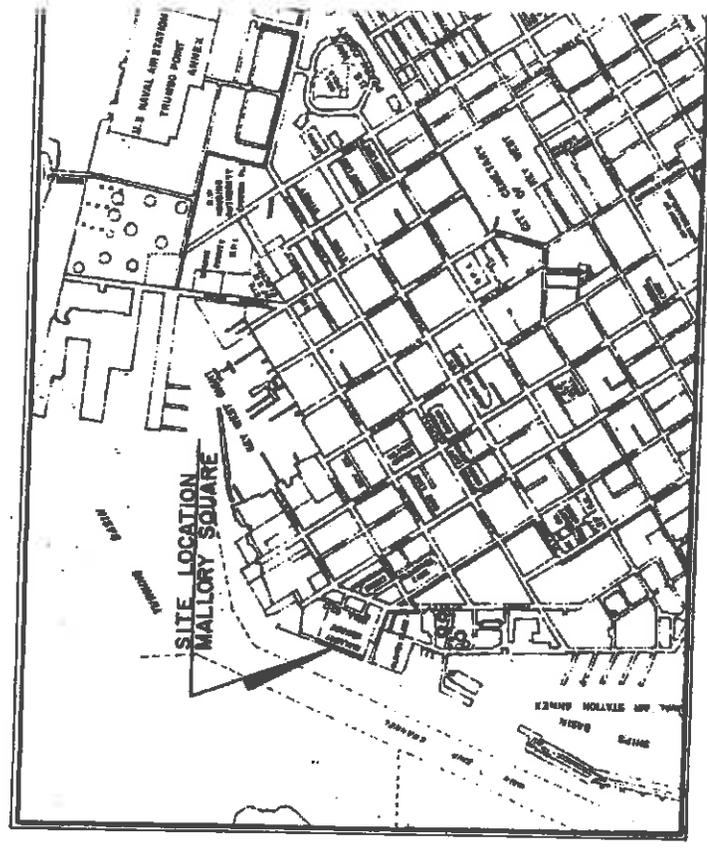
### CITY MANAGER

JOEL KOFORD

PREPARED FOR

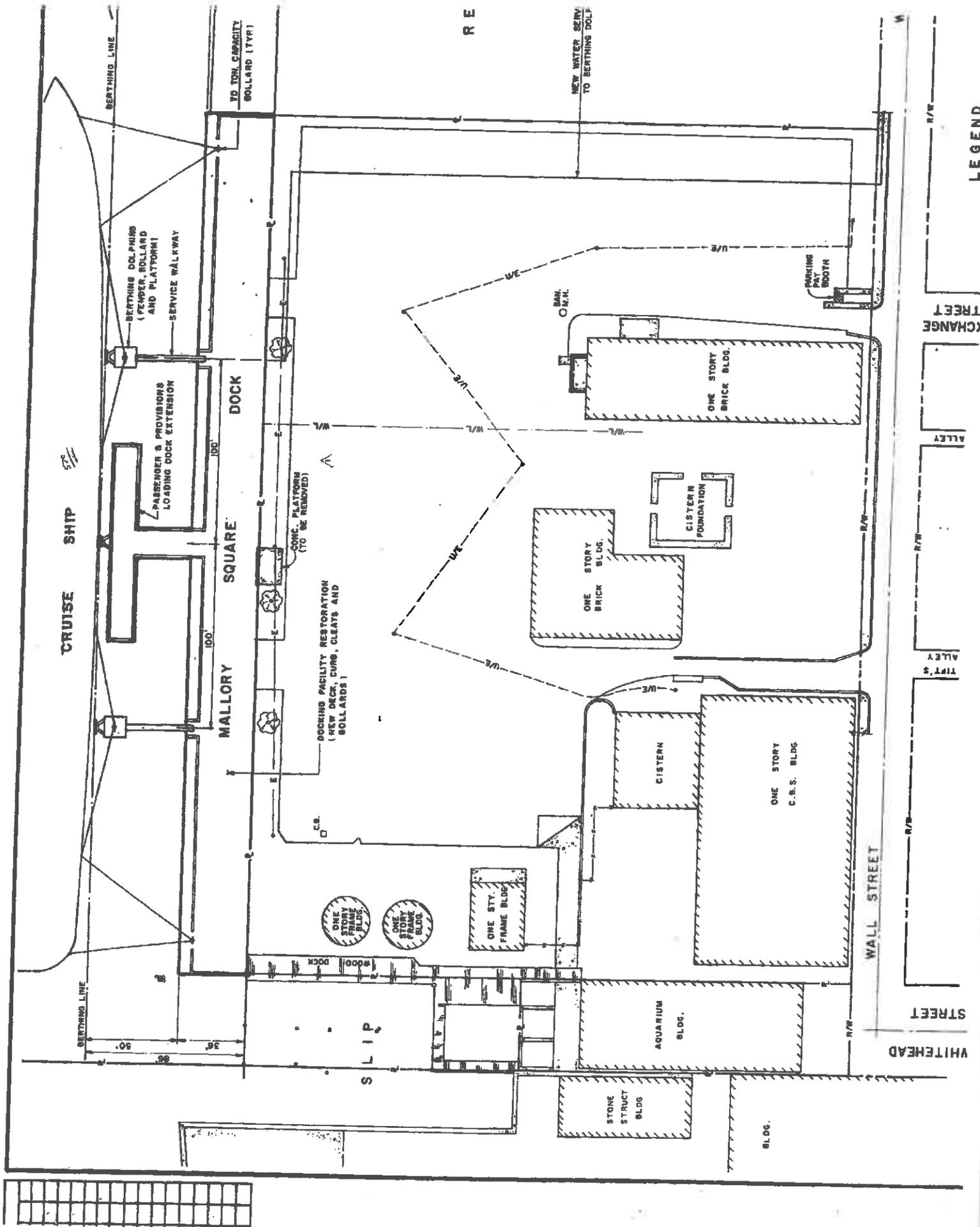
**CITY OF KEY WEST**

STATE OF FLORIDA DEPARTMENT OF COMMERCE  
DIVISION ECONOMIC DEVELOPMENT  
FLORIDA COMMUNITY DEVELOPMENT BLOCK GRANT



LOCATION MAP





CRUISE SHIP

BERTHING LINE

BERTHING DOLPHINS  
(FENDER, BOLLARD  
AND PLATFORM)  
SERVICE WALKWAY

PASSENGER & PROVISIONS  
LOADING DOCK EXTENSION

DOCK

SQUARE

MALLORY

TO TOP CAPACITY  
BOLLARD (TYP)

CONC. PLATFORM  
(TO BE REMOVED)

DOCKING FACILITY RESTORATION  
(NEW DECK, CURB, CLEATS AND  
BOLLARDS)

ONE STORY  
STONE  
FRAME BLDG.

ONE STORY  
STONE  
FRAME BLDG.

ONE STY  
FRAME BLDG.

STONE  
STRUCT  
BLDG.

AQUARIUM  
BLDG.

CISTER N

ONE STORY  
C.B.S. BLDG.

ONE STORY  
BRICK BLDG.

CISTER N  
FOUNDATION

ONE STORY  
BRICK BLDG.

PARKING  
PAY  
BOOTH

WALL STREET

WHITEHEAD  
STREET

TIFT'S  
ALLEY

ALLEY

STREET  
:XCHANGE

LEGEND

R E

NEW WATER BERRY  
TO BERTHING DOLPH

BERTHING LINE

30'

36'

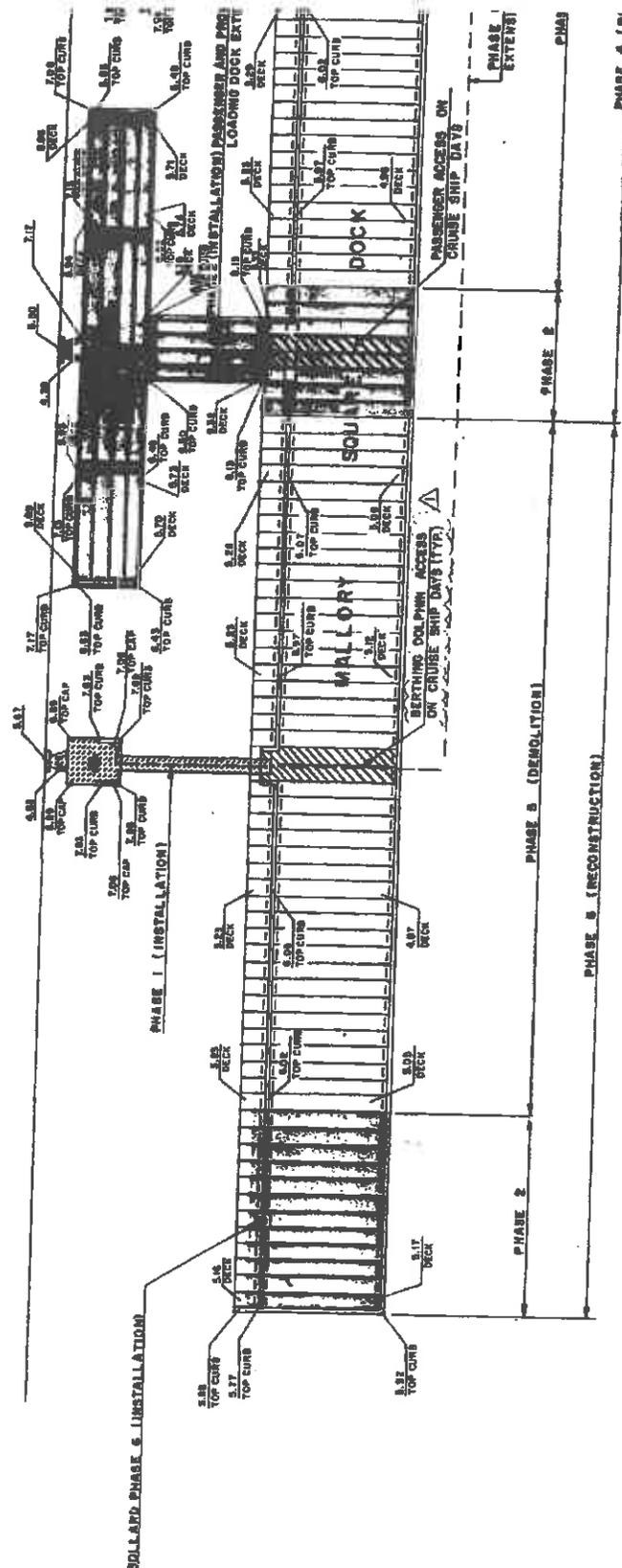
38'

SLIP

WOOD DOCK

W/E

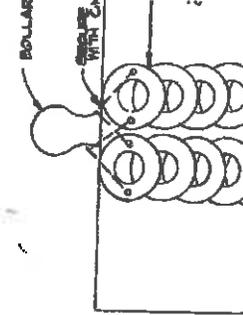
R/W

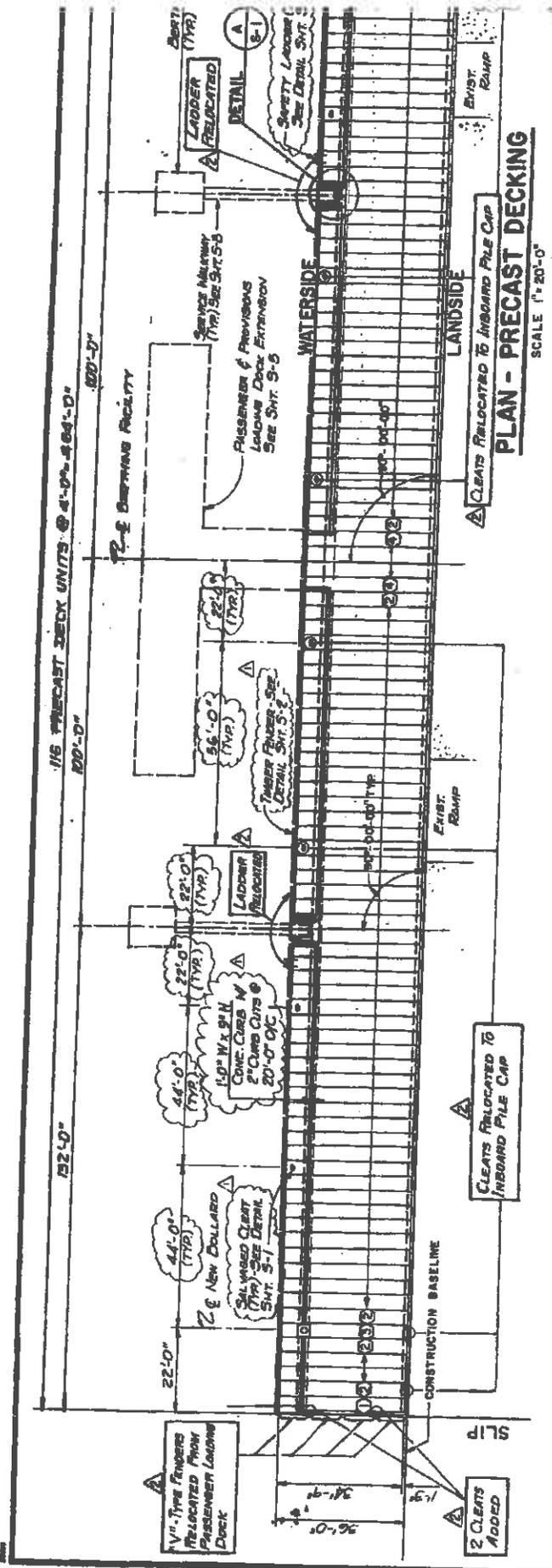


PLAN  
SCALE: 1" = 20'

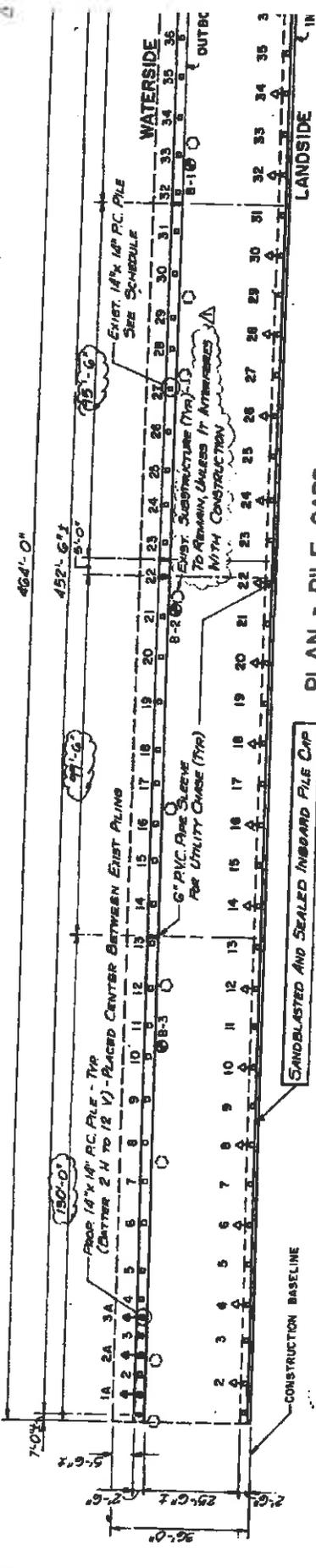
▲ INDICATES EXISTING ELEVATION AND DESCRIPTION.

SURVEYOR'S NOTE:  
1. ELEVATIONS AS SHOWN HEREON REFER TO  
FROM NATIONAL GEODETIC VERTICAL DATUM.  
(N.G.S. 1983)





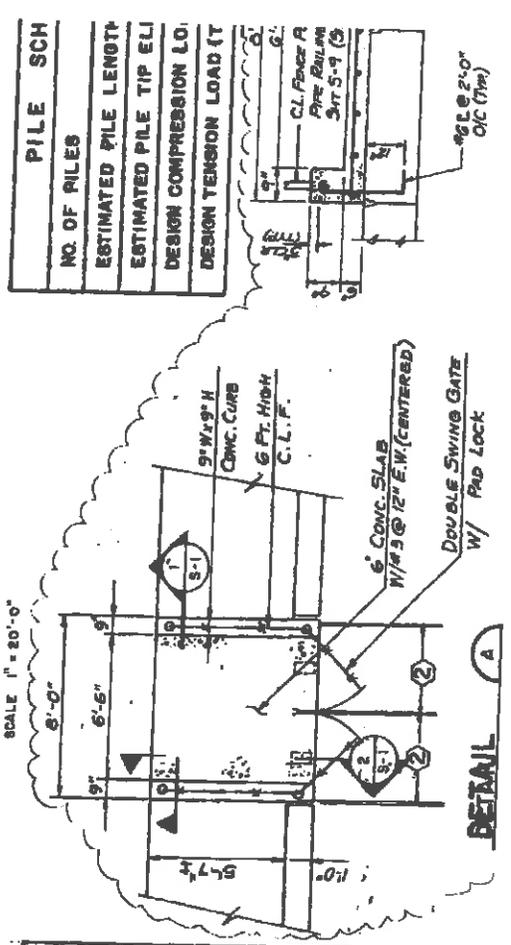
**PLAN - PRECAST DECKING**  
SCALE 1" = 20'-0"



**PLAN - PILE CAPS**  
SCALE 1" = 20'-0"

**PILE SPACING SCHEDULE**

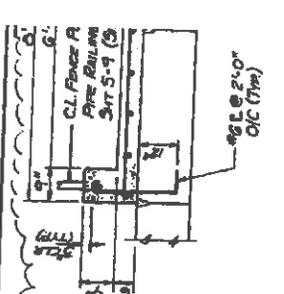
Pile No.	OUTBOARD		INBOARD	
	Spacing	Pile No.	Spacing	Pile No.
1	11'-0"	1	7'-5"	25
2	10'-8"	2	12'-5"	26
3	8'-10"	3	9'-7"	27
4	7'-11"	4	11'-0"	28
5	12'-4"	5	10'-10"	29
6	11'-7"	6	10'-10"	30
7	10'-4"	7	11'-0"	31
8	11'-6"	8	10'-11"	32
9	11'-8"	9	10'-7"	33
10	8'-8"	10	10'-3"	34
11	10'-2"	11	10'-7"	35
12	12'-7"	12	10'-4"	36
13	...	13	10'-3"	37



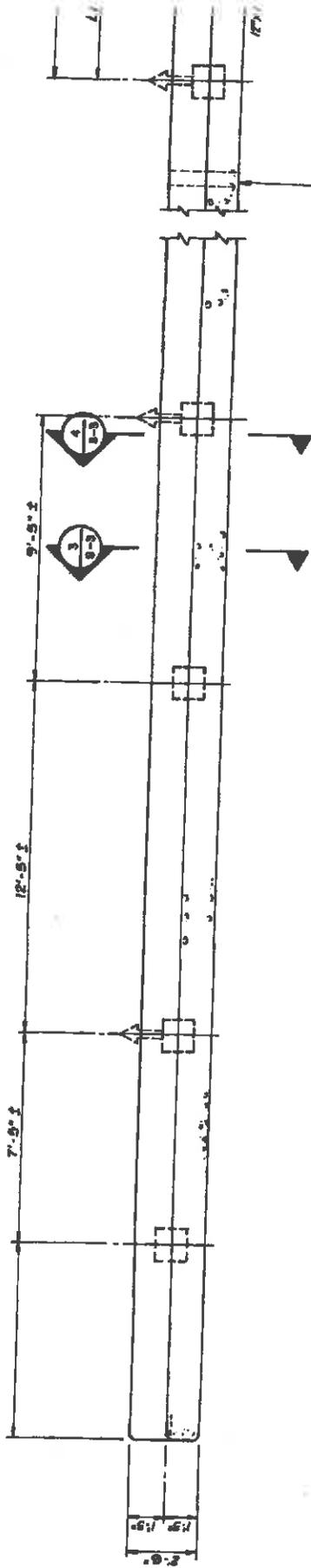
**DETAIL**

**PILE SPACING SCHEDULE**

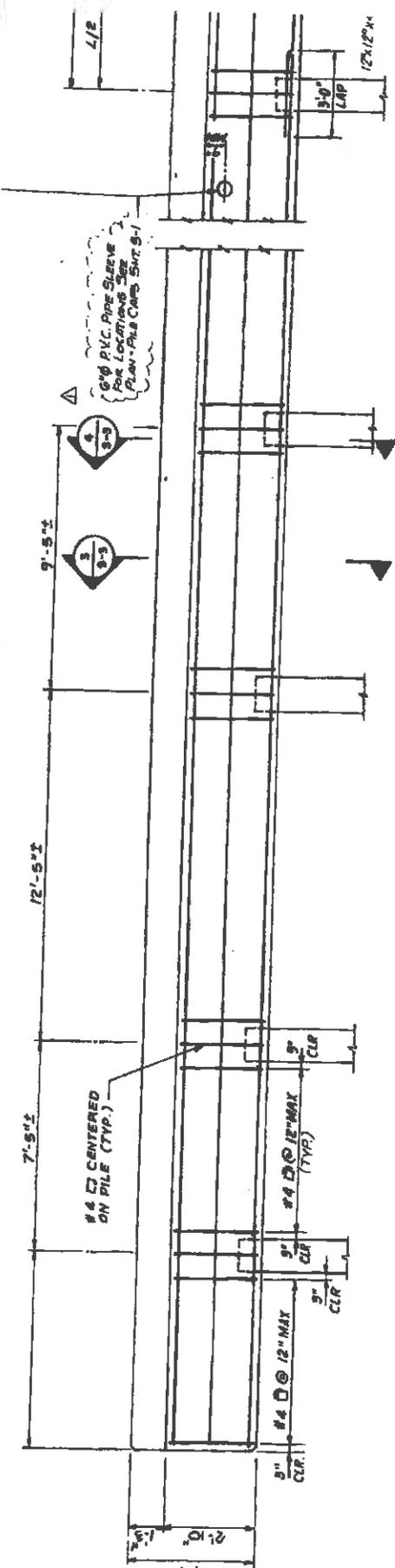
PILE	SCH
NO. OF PILES	
ESTIMATED PILE LENGTH	
ESTIMATED PILE TIP ELI	
DESIGN COMPRESSION LO.	
DESIGN TENSION LOAD (T	



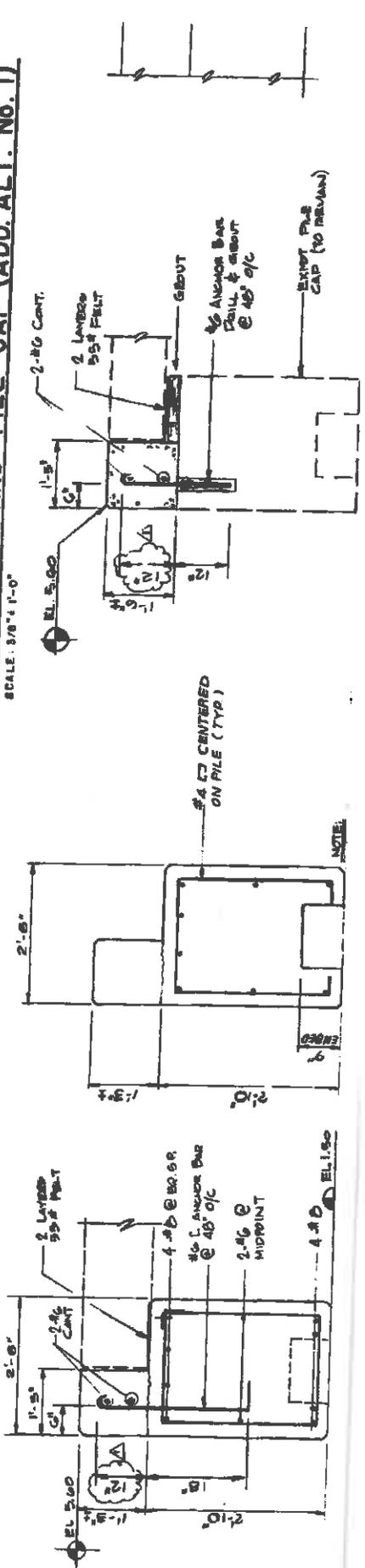




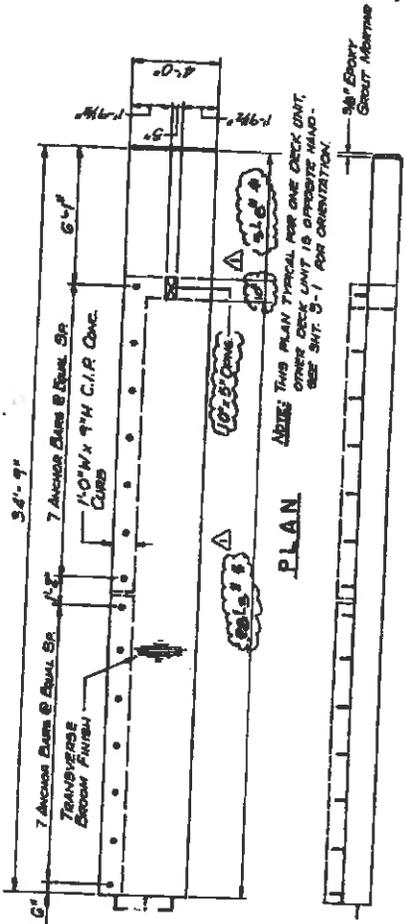
**PARTIAL PLAN - INBOARD PILE CAP (ADD. ALT. No. 1)**  
SCALE: 3/8" = 1'-0"



**PARTIAL EAST ELEVATION - INBOARD PILE CAP (ADD. ALT. No. 1)**  
SCALE: 3/8" = 1'-0"

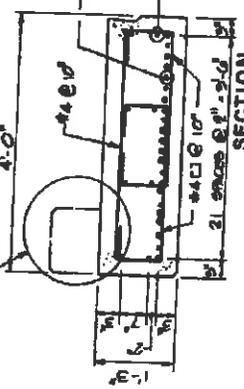


NOTE



**ELEVATION**

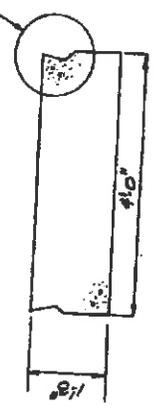
DETAIL B (S-1)



\* NOTE - DIMENSIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO FABRICATION.

**ELEVATION**

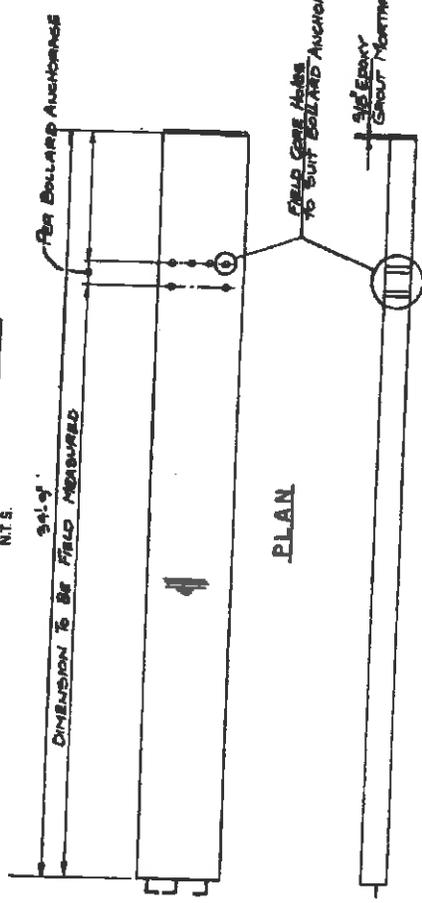
DETAIL C (S-2)



Check: For Floor Smt. 1 Deck Unit Type

**DECK UNIT TYPE 1**

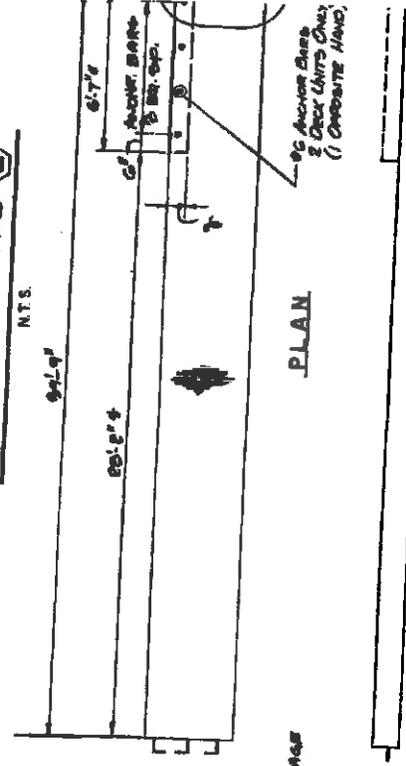
NTS.



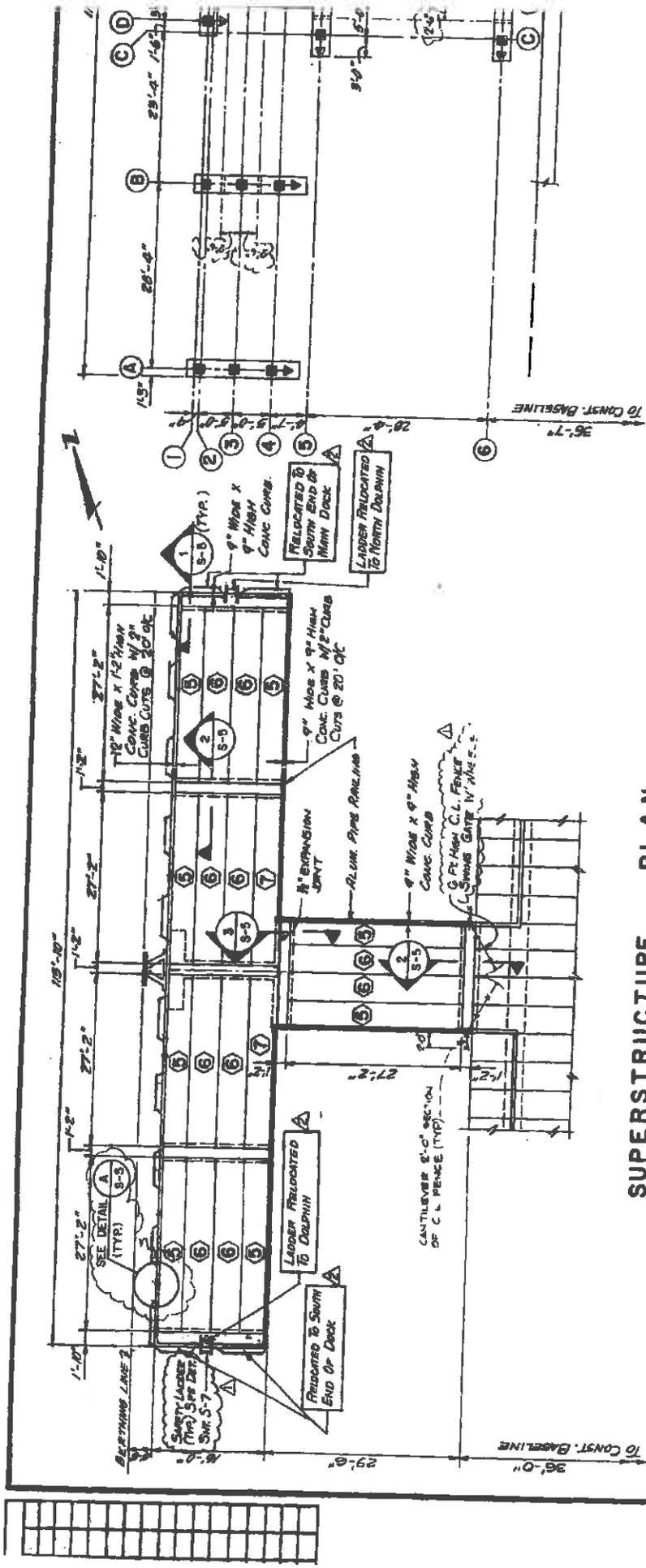
**ELEVATION**

**DECK UNIT TYPE 2**

NTS.

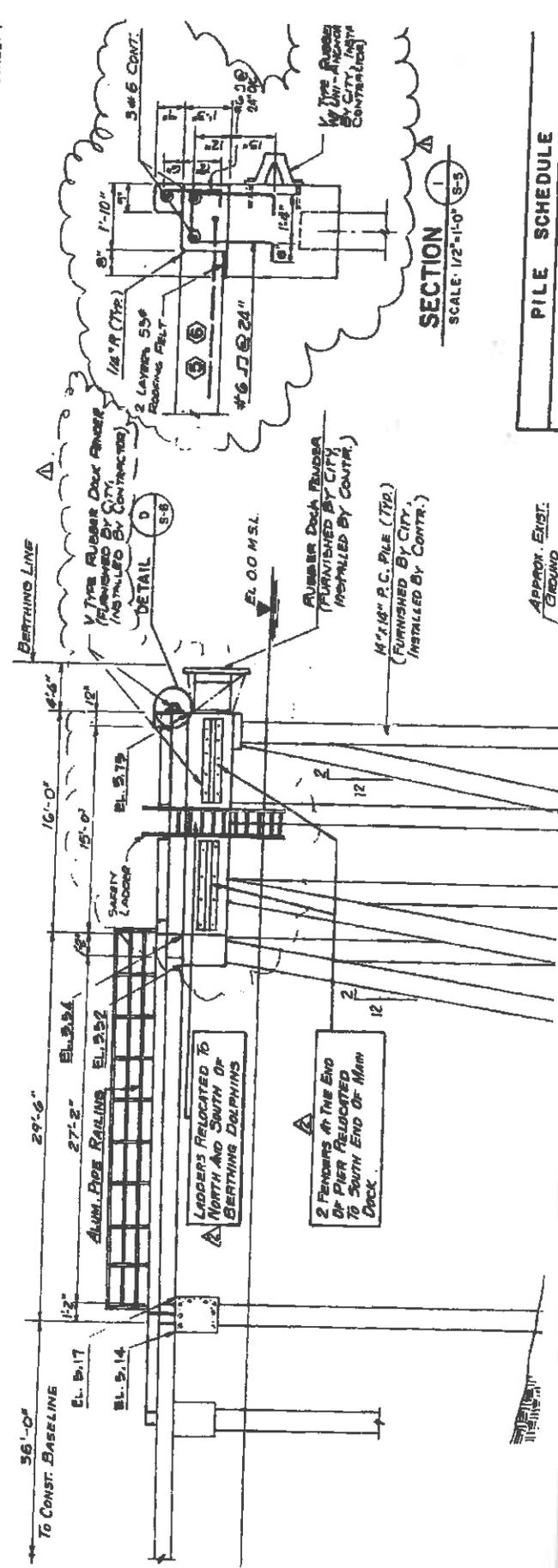


**ELEVATION**



**SUPERSTRUCTURE PLAN**  
SCALE: 1" = 10'-0"

**SUBSTRUCTURE**  
SCALE: 1"

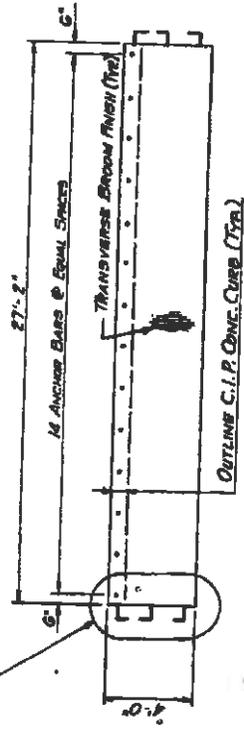


**SECTION 1**  
SCALE: 1/2" = 1'-0" S-S

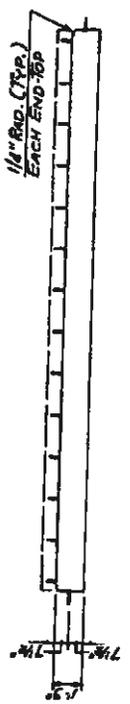
NO. OF PILES	PILE SCHEDULE

APPROX. EXIST.  
GROUND

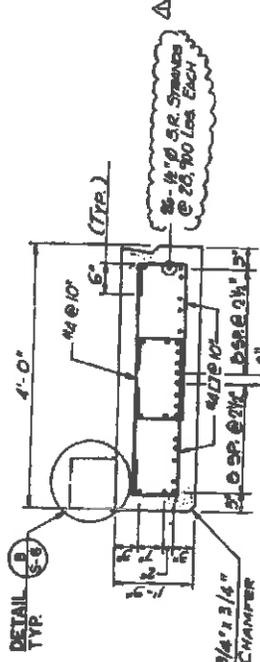
DETAIL TYP. (A) S-5



PLAN



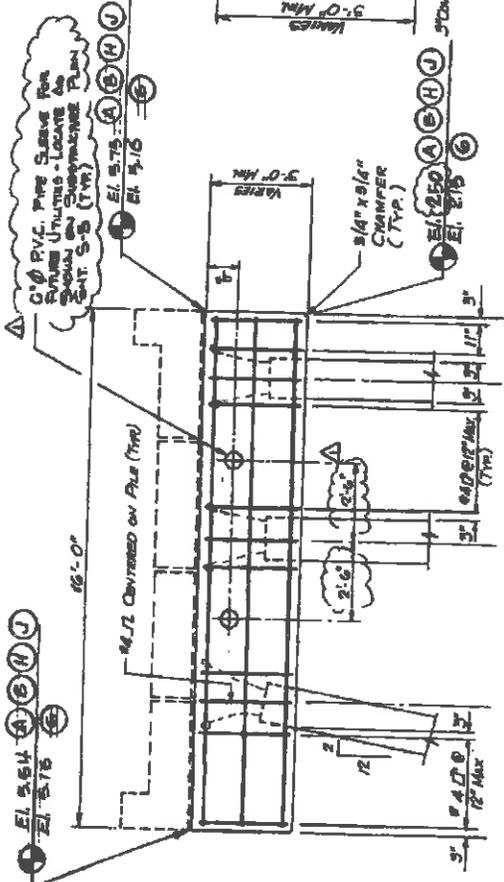
ELEVATION



SECTION

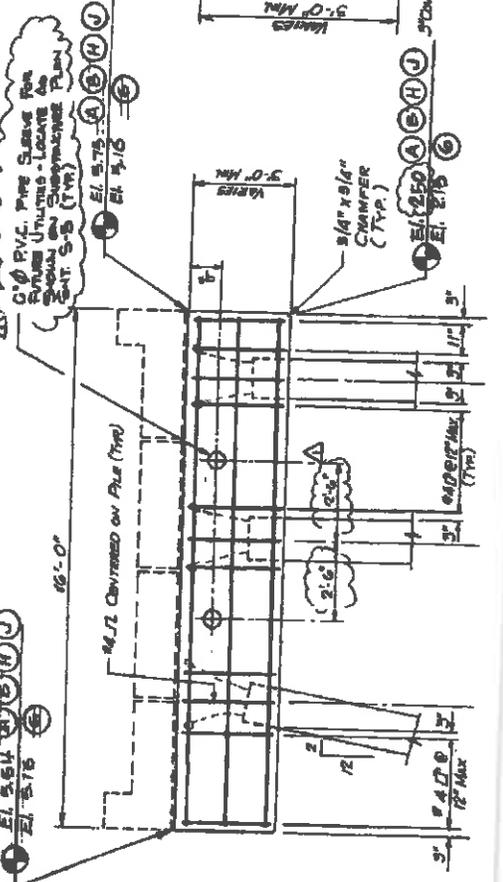
DECK UNIT TYPE 5

N.T.S.



DECK UNIT TYPE 6

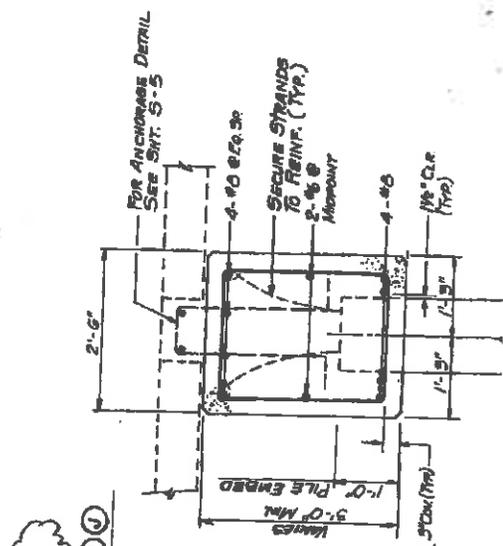
N.T.S.



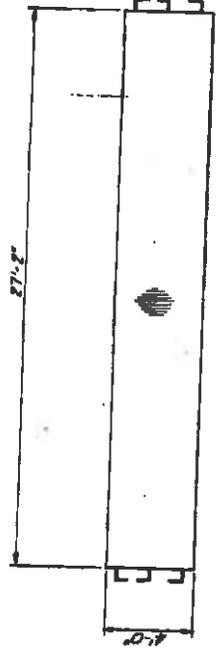
SECTION

DECK UNIT TYPE 6

N.T.S.



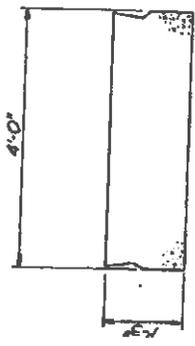
DETAIL TYP. (A) S-5



PLAN



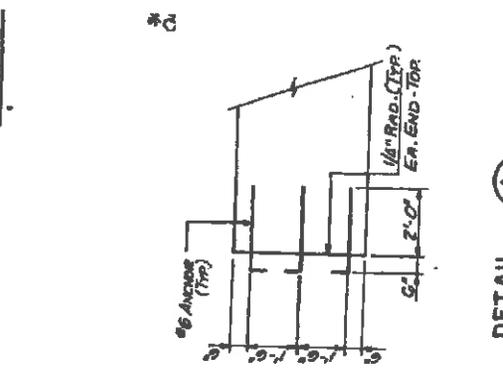
ELEVATION



NOTE: FOR REIN. 57L SEE SECTION, Deck Unit Type 5

SECTION

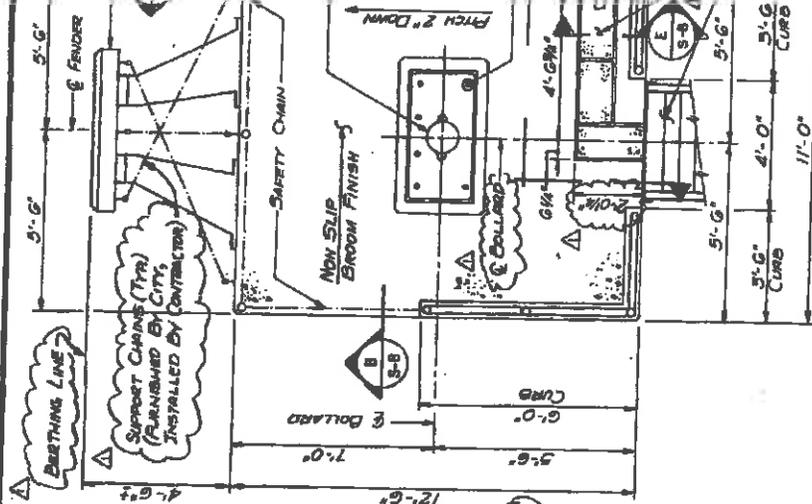
DECK 1



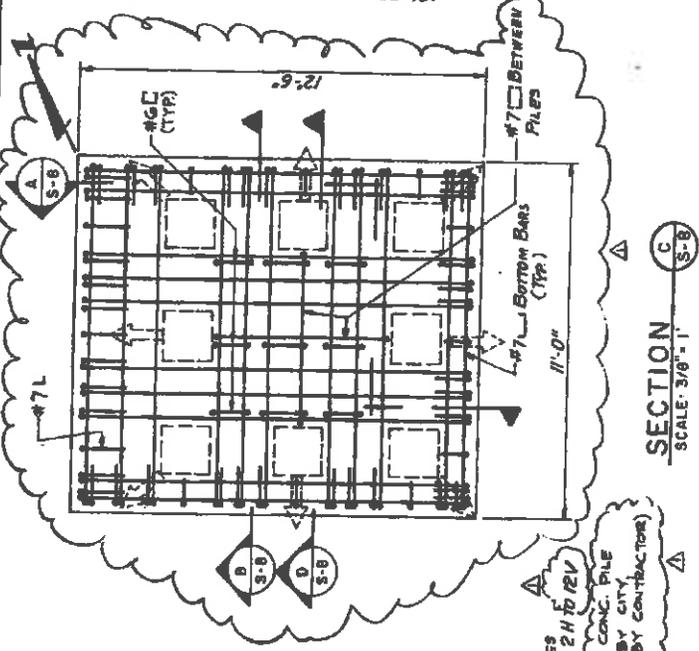
DETAIL (A)



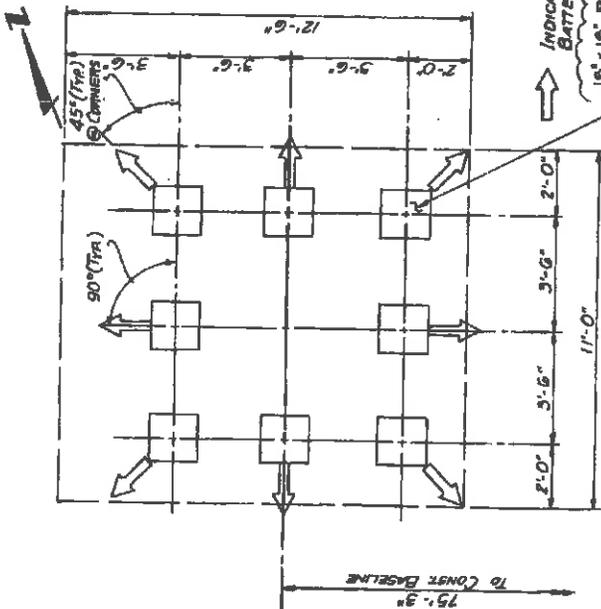




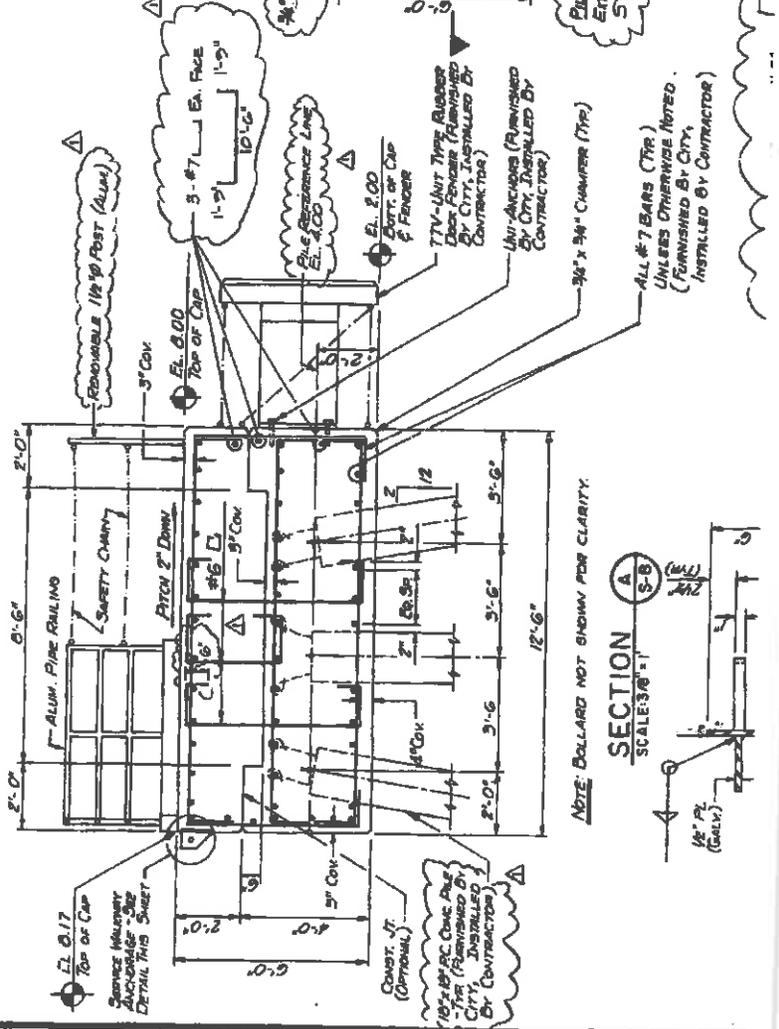
**PLAN**  
SCALE: 3/8"=1'



**SECTION**  
SCALE: 3/8"=1'



**PILE LAYOUT PLAN**  
SCALE: 3/8"=1'

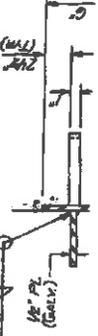


**SECTION**  
SCALE: 3/8"=1'

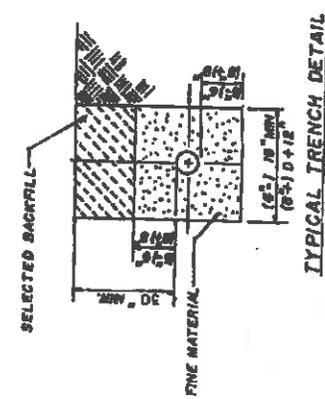
**SECTION**  
SCALE: 3/8"=1'

ALL #7 BARS (TR)  
UNLESS OTHERWISE NOTED  
(FURNISHED BY CITY,  
INSTALLED BY CONTRACTOR)

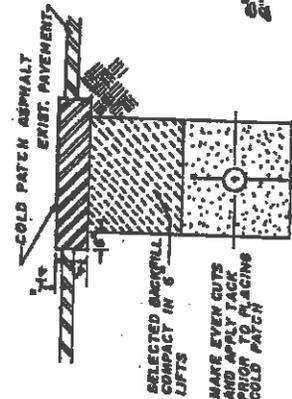
NOTE: BOLLARD NOT SHOWN FOR CLARITY.





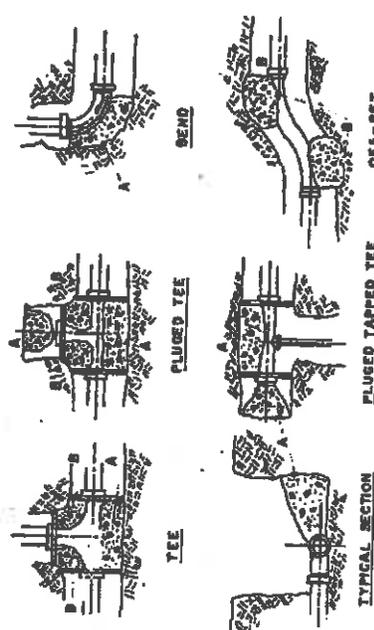


TYPICAL TRENCH DETAIL



PAVEMENT RESTORATION DETAIL

TRENCH DETAILS  
N.T.S.

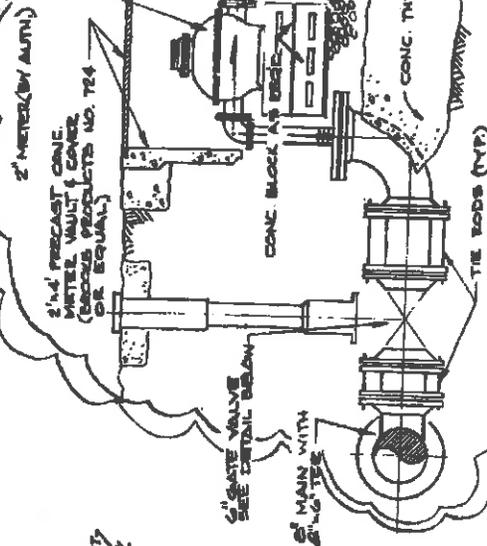


TYPICAL SECTION

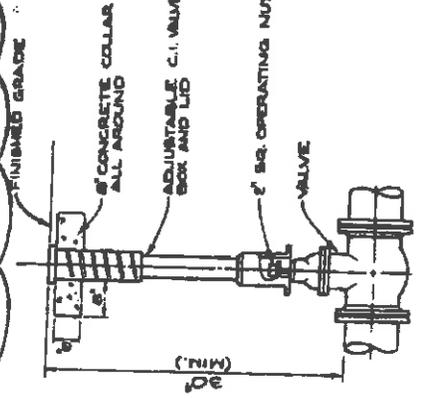
- NOTE:
1. POUR THRUST BLOCKS AGAINST UNDISTURBED SOIL WHERE TRENCH WALL HAS BEEN DISTURBED. EXCAVATE LOOSE SOIL PRIOR TO POURING THRUST BLOCKS.
  2. THRUST BLOCK MUST BE ENTIRE LENGTH OF BENDS AND TEES.
  3. NO JOINTS SHALL BE COVERED WITH CONCRETE. PLACE BOARDS IN FRONT OF PLUGS.
  4. NO JOINTS SHALL BE COVERED WITH CONCRETE. PLACE BOARDS IN FRONT OF PLUGS.

PIPE SIZE	2"	4"	6"	8"	10"
A	1	3	5	9	9
B	1	1	2	4	5

TYPICAL THRUST BLOCK DETAILS  
N.T.S.



METER INSTALLATION DETAIL  
1"=1'-0"



TYPICAL VALVE INSTALLATION DETAIL  
N.T.S.

PROPOSED SERVICE WALKWAY

PROPOSED PRECAST CONCRETE DOCK

4" BACKFLOW PREVENTER ASSEMBLY