

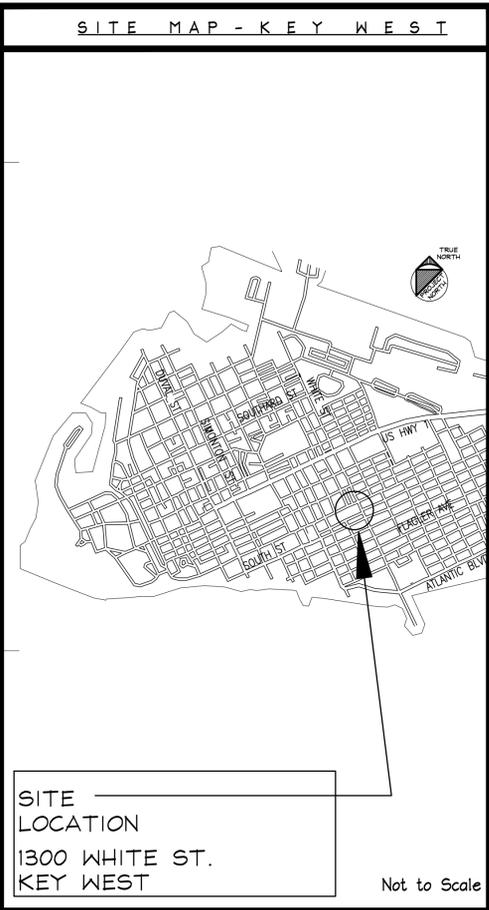
KEY WEST CITY HALL AT GLYNN ARCHER

1300 WHITE STREET KEY WEST

60% CONSTRUCTION DOCUMENTS SUBMITTAL - MARCH 3, 2014

REVISIONS:

KEY WEST CITY HALL
AT GLYNN ARCHER
1300 WHITE STREET KEY WEST, FLORIDA
CITY OF KEY WEST



GENERAL NOTES

- All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:
 FLORIDA BUILDING CODE - Building 2010 EDITION
 FLORIDA BUILDING CODE - Existing 2010 EDITION
 FLORIDA BUILDING CODE - Residential 2010 EDITION
 FLORIDA BUILDING CODE - Plumbing 2010 EDITION
 FLORIDA BUILDING CODE - Fuel Gas 2010 EDITION
 FLORIDA BUILDING CODE - Mechanical 2010 EDITION
 NATIONAL ELECTRICAL CODE 2008 EDITION
 NFPA 101 LIFE SAFETY CODE w/ Florida Modifications
 2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION
 NFPA 1 2006 EDITION
 This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (gusts).
- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receipt on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.

Specific Authority 481.2055, 481.221 FS, Law Implemented 481.221, 481.225(1)(e), (d), (j), (k), 481.225(1)(g), (h), (i) FS, History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-84, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.

PROJECT DIRECTORY

PROJECT: KEY WEST CITY HALL AT GLYNN ARCHER
ARCHITECT'S PROJECT NO.: 1305

OWNER: City of Key West, Florida
 P.O. Box 1404
 Key West, FL 33041
E-mail: mvieux@keywestcity.com
Phone: (305)-804-3964
Representative: Michael Vieux

ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.
 Address: 410 Angela Street, Key West, FL 33040
 Tel: (305) 296-1347 Fax: (305) 296-2727
E-mail: blbender@bellsouth.net
Project Manager: Bert L. Bender (Principal-in-Charge)
Project Architect: David Salay

ASSOCIATED ARCHITECT: MC HARRY ASSOCIATES
 Address: 2780 SW Douglas Rd., Ste. 302, Miami, FL 33133
 Tel: (305) 445-3765
E-mail: jpierson@mcharry.com
Project Manager: James Pierson (Principal-in-Charge)
Project Architects: Javier Torres, Thomas Carlson

ENGINEERING CONSULTANTS:
STRUCTURAL: H.M. KEISTER ASSOCIATES
 Address: 2027 University Boulevard, North, Jacksonville, FL 32211
 Tel: (904) 743-4633 Fax: (904) 744-6985
Representative: Mark J. Keister, P.E.,

MEP: HNGS ENGINEERS
 Address: 4800 SW 74th Court, Miami, FL 33155
 Tel: 305-270-9935 Fax: 305-665-5891
E-mail: hngs@hngsengineers.com
Representative: Enrique J. Suarez, Jr. P.E.

CIVIL: Perez Engineering and Development, Inc.
 1010 Kennedy Dr., Suite 400, Key West
 Tel: (305) 293-9440
E-mail: perezengineering@bellsouth.net
Representative: Allen Perez

LANDSCAPE: E SCIENCES, INC.
 34 East Pine St., Orlando, FL 32801
 Tel.: 407-481-9006
E-mail: koropezka@esciencesinc.com
Representative: Keith Oropeza, ASLA

ACOUSTICS, TECHNOLOGY, SECURITY: KINSELLA-MARSH GROUP
 901 Cortland Drive, Richardson, TX 75081
 Tel: 305-868-1531
E-mail: david.marsh@kinsella-marsh.com
Representative: David Marsh, Project Manager

INTERIORS: LEAF, INC.
 708 William St., Key West, FL 33040
 Tel: 305-890-6176
Representative: Patricia Baldis

ENVIRONMENTAL ASSESSMENT: EEKG, INC.
 Address: 4505 Commerce Way, Suite 400, Miami Lakes, FL 33016
 Tel: (305) 293-0466
E-mail: rgrunehoff@eeagd.com
Project Manager: Richard Grunehoff (Principal-in-Charge)

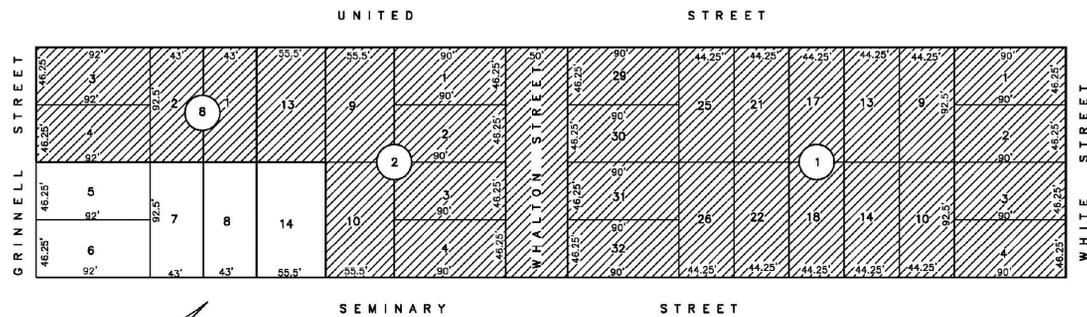
SURVEYING: ISLAND SURVEYING, INC.
 Address: 3150 Northside Dr., Key West, FL 33040
 Tel: 305-293-0466
E-mail: hildebr@bellsouth.net
Project Manager: Fred Hildebrandt

LEED COMMISSIONING AGENT: TLC ENGINEERING, INC.
 Address: 800 Fairway Dr, Suite 250, Deerfield Beach, FL 33441
 Tel: 305-266-6553
E-mail: steve.sarneski@tlc-eng.com
Project Manager: Steve Sarneski

PLANNING CONSULTANT: DONNA BOSOLD
 Address: 720 Eaton Street, Key West, FL 33040
 Tel: 305-942-1064
E-mail: donna.bosold@att.net
Contact: Donna Bosold

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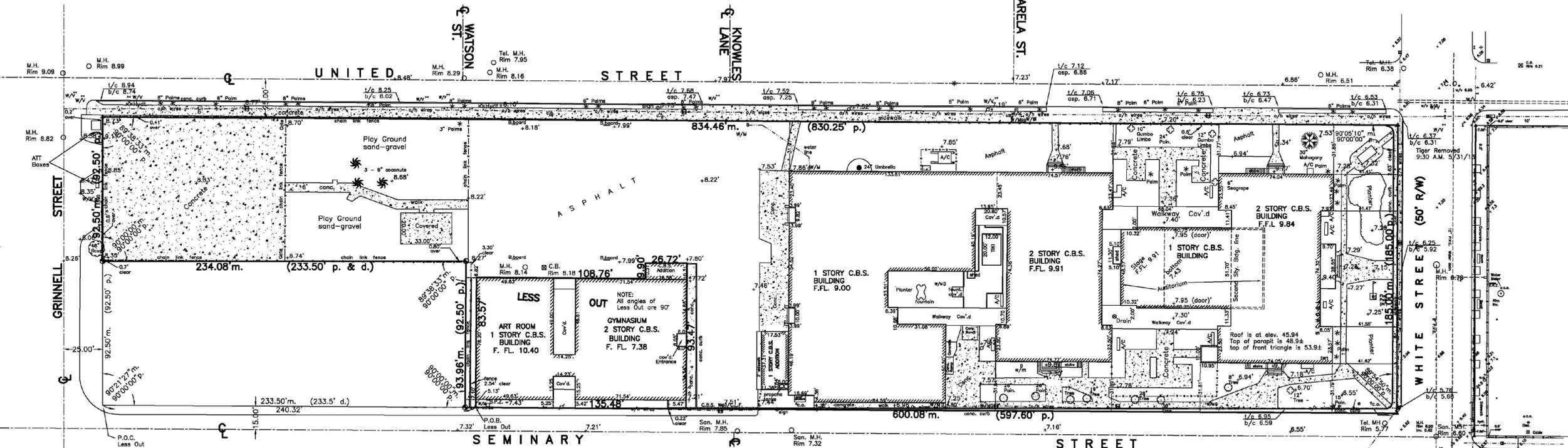


N.T.S.
(Dimensions per plat)

LOCATION MAP
Blocks 1 & 2, "Tract 18, G.W. NICHOLS' SUB." (P.B. 1, pg. 47)
Block 8, "WEBB REALTY (P.B. 1, pg. 42)

LEGAL DESCRIPTION:
On the island of Key West, Monroe County, Florida and being a part of Tract 18, according to William A. Whitehead's map delineated in February, 1829, but better known as Lots 1, 2, 3, 4, 9, 10, 13, 14, 17, 18, 21, 22, 25, 26, 29, 30, 31, & 32, Square 1 and Lots 1, 2, 3, 4, 9, 10, & 13, Square 2, Tract 18, "GEORGE W. NICHOLS SUBDIVISION", according to the plat thereof, as recorded in Plat Book 1, at page 42 of the Public Records of Monroe County, Florida.
AND
On the island of Key West, Monroe County, Florida and being a part of Tract 18, according to William A. Whitehead's map delineated in February, 1829, but better known as Lots 1, 2, 3, & 4, Square 8, "DIAGRAM OF THE WEBB REALTY COMPANY", of part of Tract 18", according to the plat thereof, as recorded in Plat Book 1, at page 42 of the Public Records of Monroe County, Florida.
AND
Whalton Street, being 50 feet wide lying between United and Seminary Streets.

LESS OUT (Gym and Arts Bldg.):
On the island of Key West, Monroe County, Florida and being a part of Tract 18, according to William A. Whitehead's map delineated in February, 1829, but better known as Lots 1, 2, 3, & 9, Square 2, Tract 18, "GEORGE W. NICHOLS SUBDIVISION", according to the plat thereof, as recorded in Plat Book 1, at page 42 of the Public Records of Monroe County, Florida, and being more particularly described as follows:
Commence at the intersection of the Northeastery Right-of-Way Line of Grinnell Street and the Northwestery Right-of-Way Line of Seminary Street; thence in a Northeastery direction along the said Northwestery Right-of-Way Line of Seminary Street for a distance of 240.32 feet to the Point of Beginning; thence at a right angle and in a Northwestery direction for a distance of 83.57 feet; thence at a right angle and in a Northeastery direction for a distance of 108.76 feet; thence at a right angle and in a Northwestery direction for a distance of 9.90 feet; thence at a right angle and in a Southeastery direction for a distance of 26.72 feet; thence at a right angle and in a Northwestery direction for a distance of 93.47 feet to the said Northwestery Right-of-Way Line of Seminary Street; thence at a right angle and in a Southwestery direction along the said Northwestery Right-of-Way Line of Seminary Street for a distance of 135.48 feet to the Point of Beginning.
Containing 11,586.59 square feet, more or less.



SURVEYOR'S NOTES:
North arrow based on assumed median
3.4 denotes existing elevation
Elevations based on N.C.V.D. 1929 Datum
Bench Mark No.: Basic Elevation: 14.324

Monumentation:
⊙ = set 1/2" Iron Pipe, P.L.S. No. 2749
▲ = Set P.K. Nail, P.L.S. No. 2749

Abbreviations:
Sty. = Story
R/W = Right-of-Way
fd. = Found
p. = Plat
m. = Measured
d. = Deed
O.R. = Official Records
N.T.S. = Not to Scale
C. = Centerline
Elev. = Elevation
B.M. = Bench Mark

o/h = Overhead
u/g = Underground
F.F.L. = Finish Floor Elevation
L.B. = Low Beam
Rad. = Radial
Irr. = Irregular
conc. = concrete
I.P. = Iron Pipe
I.B. = Iron Bar
B. = Baseline
C.B. = Concrete Block
C.B.S. = Concrete Block Stucco
cov.d. = Covered
P.I. = Point of Intersection
wd. = Wood
Hyd. = Hydrant

☐ = Concrete Utility Pole
⊕ = Wood Utility Pole
⊕ = Wood Utility Pole with Guy wire
⊕ = Fire Well
⊕ = Manterling Well
⊕ = Water Meter
⊕ = Water Valve
⊕ = Electric Manhole
⊕ = Electric Utility Vault
⊕ = Man Hole
⊕ = Sanitary
⊕ = Storm Water Catch Basin
Inv. = Invert
B.P.Z. = Backflow Prevention Valve
P.V.C. = Polyvinyl Pipe
R.C.P. = Reinforced Concrete pipe

+ = Fire Hydrant
* = Light
⊙ = sign
w.m. = Water Meter
Bal. = Balcony
Pl. = Planter
Hydt. = Fire Hydrant
F.W. = Fire Well
A/C = Air Conditioner

P.O.C. = Point of Commence
P.O.B. = Point of Beginning
P.B. = Plat Book
pg. = page
Elec. = Electric
Tel. = Telephone
Ench. = Encroachment
O.L. = On Line
C.L.F. = Chain Link Fence

Field Work performed on: 5/31/13

CERTIFICATION:
I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
Professional Land Surveyor No. 2749
Professional Engineer No. 36810
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

Glynn Archer School White Street, Key West, Fl. 33040	
BOUNDARY SURVEY	Dem. No.: 13-213
Scale: 1"=30'	Ref. 136-23 Flood Risk No. 136-55 Flood Zone: X
Date: 6/8/98	Drawn By: F.H.H.
REVISIONS AND/OR ADDITIONS	
5/31/13: Updated trees, grades, conc.	
7/12/13: add. grades, bldg height, white st. curbs, less out	
1/datasf/dwg/manroecountychoolboard/glenarcher	

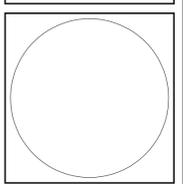
ISLAND SURVEYING INC.
ENGINEERS PLANNERS SURVEYORS

3192 Northside Drive
Suite 201
Key West, Fl. 33040

(305) 293-0466
Fax: (305) 293-0237
Email: info@island.net
L.B. No. 7700

REVISIONS:

**KEY WEST CITY HALL
AT GLYNN ARCHER**
1300 WHITE STREET KEY WEST, FLORIDA
CITY OF KEY WEST



MCHARRY ASSOCIATES
ARCHITECTURE / ENGINEERING / INTERIORS

3780 SW DOUGLAS ROAD, SUITE 302
MIAMI, FLORIDA 33133 (305) 445-3765
WWW.MCHARRY.COM

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License JAC002022

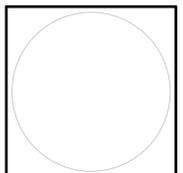
Bender & Associates
ARCHITECTS
p.c.

Project No.: 1305
EXISTING SURVEY
Date: 3/3/14

SURVEY
- OF

60% CONSTRUCTION DOCUMENTS SUBMITTAL





LANDSCAPE ARCHITECT

ESciences
LANDSCAPE ARCHITECTURE
ENGINEERING
ENVIRONMENTAL
ECOLOGICAL

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Florida License AAC02022

Bender & Associates
ARCHITECTS p.a.

Project No: 1305
SITE HARDSCAPE
PLAN

Date: 03/03/14

SHEET NOTES

1. ALL INTEGRAL COLOR CONCRETE ADMIXTURE BY L.M. SCOFIELD
www.scofield.com
1.800.800.9900
2. ALL PLANTER CURBS, STAIRS AND SEATWALLS TO BE SCOFIELD LIME-STONE INTEGRAL COLORED CONCRETE WITH SAND BLASTED FINISH UNLESS NOTED OTHERWISE.
3. ALL INTEGRAL COLORED CONCRETE SURFACES TO BE SEALED WITH SCOFIELD 'REPELLO' PENETRATING WATER AND OIL REPELLANT, PER MANUFACTURER'S SPECIFICATIONS.
4. ALL AGGREGATE TO BE 3/8" LIME-ROCK UNLESS OTHERWISE NOTED.
5. SEE ARCHITECTURE DRAWINGS FOR ALL BUILDINGS AND STRUCTURES.

SYMBOLS LEGEND

- EJ -EXPANSION JOINT
CJ -CONTROL JOINT
PLNTG-PLANTING (SEE PLANT. PLANS)
- MT /CLR/ FIN
FINISH
COLOR
MATERIAL

MATERIAL

- A -ASPHALT
C4 -CONCRETE - 4" THICK
C6 -CONCRETE - 6" THICK
P1 -PAVER - 12" x 12"
P2 -PAVER - 24" x 24"
P3 -ADA PAVER

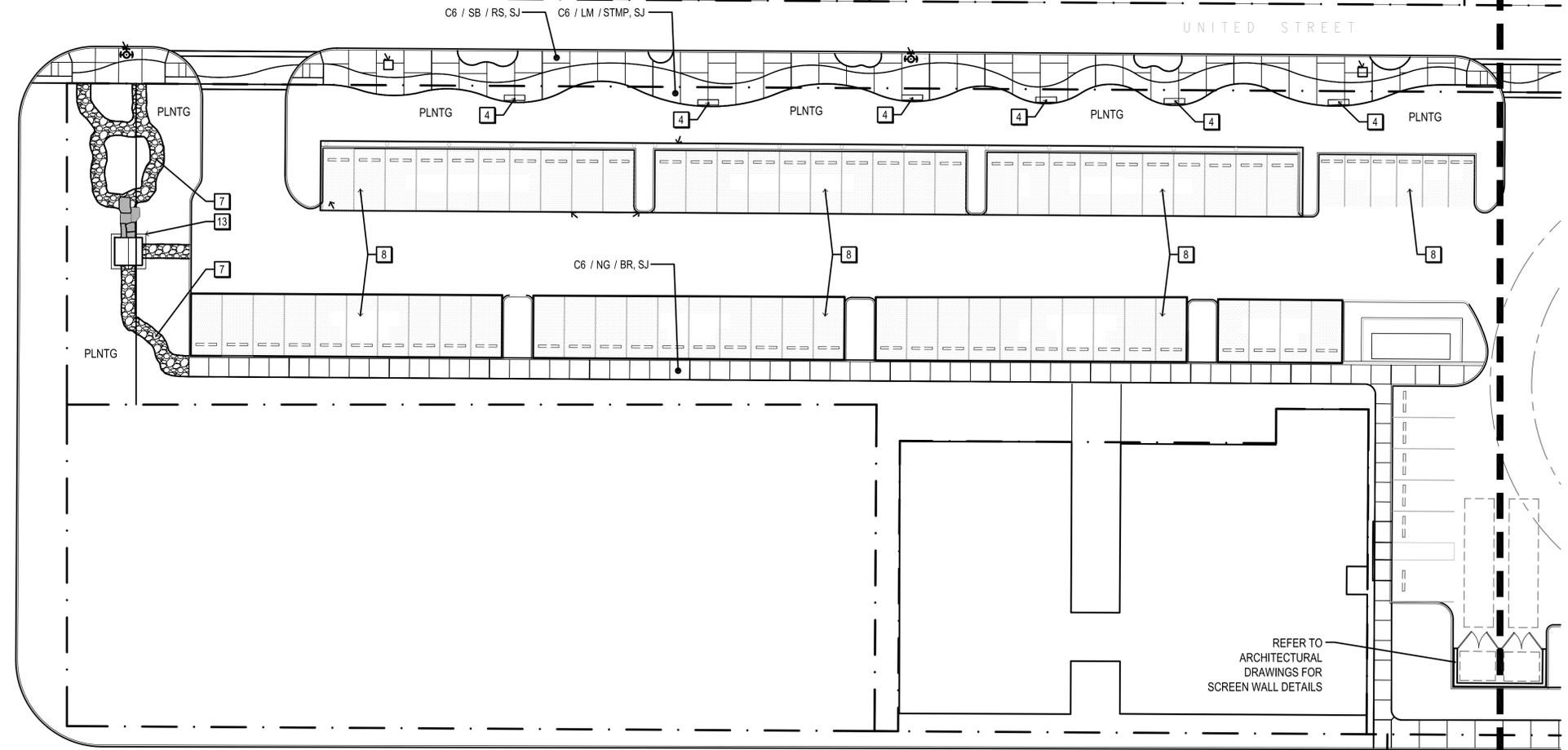
COLOR

- CH -CHARCOAL
CR -CORAL RED
CS -CORAL STONE
FG -FRENCH GRAY
LM -LIMESTONE
NG -NATURAL GRAY
SB -SPRING BEIGE
SM -SUMMER BEIGE

FINISH

- LB -LIGHT BROOM
NF -NATURAL FOSSIL
RS -ROCK SALT
SB -SAND BLAST; EXPOSED AGG.
SF -SPONGE FLOAT
SJ -SAW CUT JOINTS
ST -STEEL TROWEL
STMP -STAMPED
TJ -TOOLED JOINTS

- 1 NOT USED
- 2 18" WIDTH POURED CONCRETE SEATWALL -SEE DETAILS
- 3 12" WIDTH CONCRETE WALL -SEE DETAILS
- 4 PEDESTRIAN BENCH TBD
- 5 BIKE RACK LOCATIONS
- 6 ALUMINUM HANDRAIL -SEE DETAILS
- 7 RECYCLED CONCRETE GARDEN WALK - SEE DETAIL 5/L-41
- 8 PERVIOUS GRAVEL PAVING PARKING SURFACE - SEE CIVIL DRAWINGS
- 9 FLAGPOLE W/ FLAG (3) BY EDER FLAG MFG. COMPANY PH: 800.558.6044 www.ederflag.com -SEE DETAILS
- 10 PLANTER POTS (6) KORNEGAY-MASARU MS-27.5 W/ MATCHING SAUCER COLOR: MIAMI BUFF 5447
- 11 INTEGRAL COLOR CONCRETE COMPASS ROSE - SEE HARDSCAPE ENLARGEMENTS FOR SPECIFICATIONS
- 12 6" HT. CONCRETE PEDESTAL -SEE DETAILS
- 13 10'x10' "GABLE" SHADE STRUCTURE BY POLIGON STRUCTURES, AVAILABLE THRU: REP SERVICES, INC. PH: 407.831.9658 FX: 407.834.5366 www.repservices.com

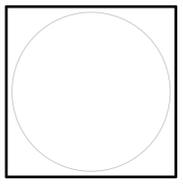


MATCHLINE SEE SHEET L-10

MATCHLINE SEE SHEET L-10

REFER TO ARCHITECTURAL DRAWINGS FOR SCREEN WALL DETAILS





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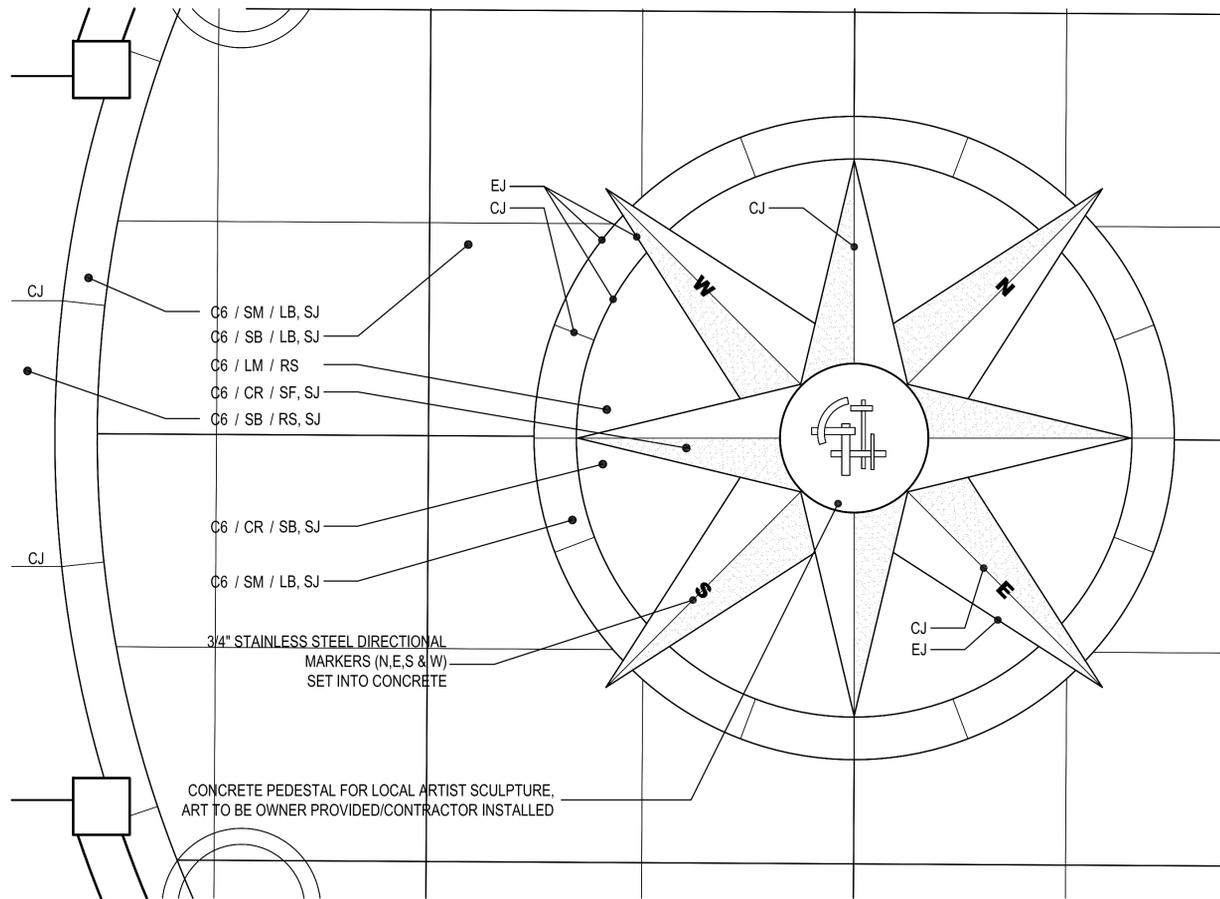
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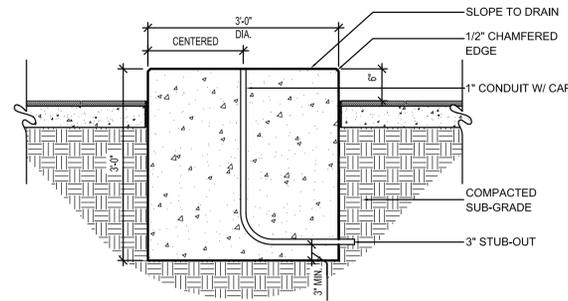
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GENERAL NOTE:
 -REFER TO STRUCTURAL ENGINEER'S DWGS. FOR FOOTING REINFORCEMENT DETAILS & NOTES
 -ALL MECHANICAL FASTENER TYPE & LAYOUT FOR SCULPTURE ATTACHMENT TO BE PROVIDED BY STRUCTURAL ENGINEER
 -FINAL LOCATION OF LIGHT FIXTURES & TYPE ASSOCIATED WITH SCULPTURE TO BE COORDINATED WITH MEP
 -REFER TO HARDSCAPE PLAN FOR COLOR & FINISH OF CONCRETE

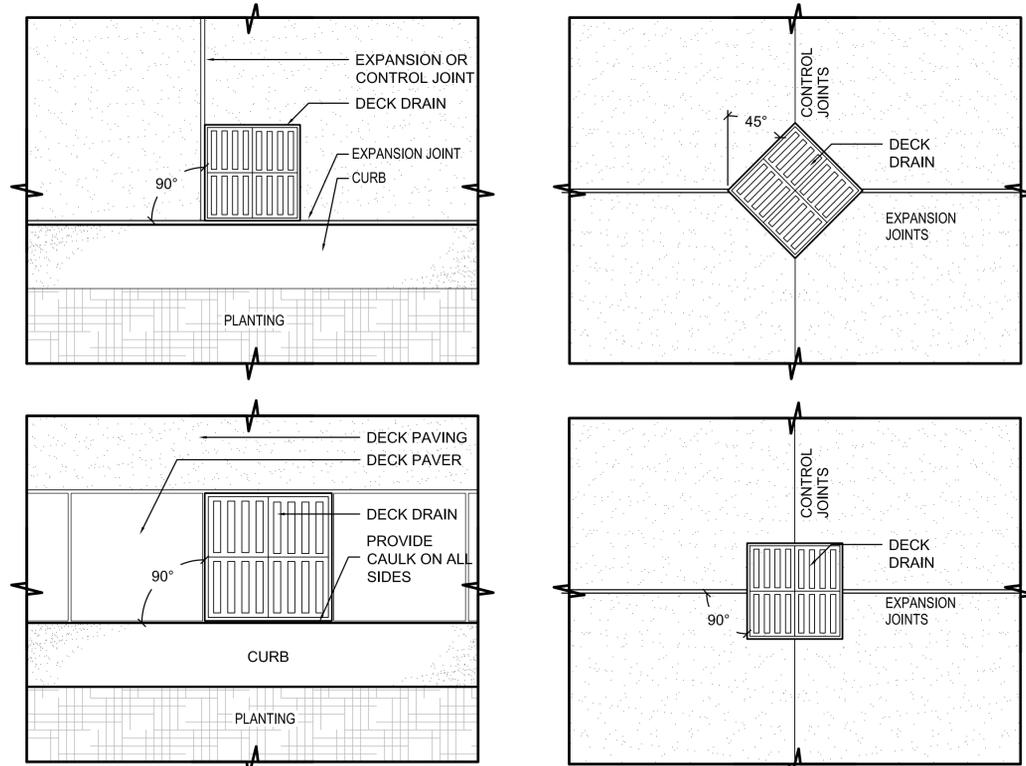


SECTION THRU SCULPTURE BASE

SCALE: 3/4" = 1'-0"

5

L40



ALL DRAINS IN PAVING ARE TO BE LAID OUT TO FALL AT INTERSECTIONS OF DECK SCORING AND EXPANSION JOINTS. DRAINS ARE TO BE SET SO AS TO ALIGN WITH EXPANSION AND CONTROL JOINTING.

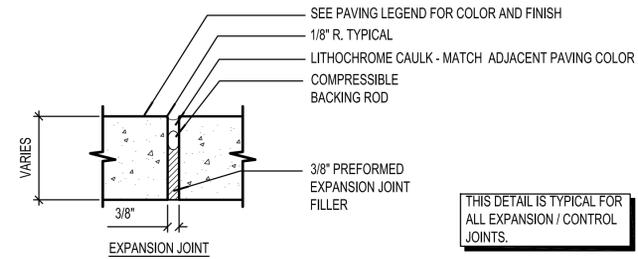
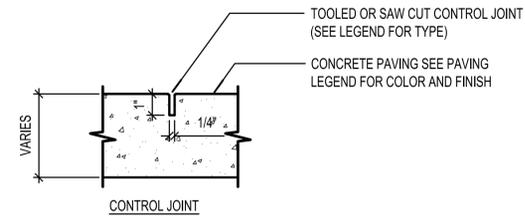
THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR DECK PAVING AROUND DRAINS AND SHALL BE RESPONSIBLE FOR SETTING THE ELEVATIONS; AS WELL AS KEEPING SYSTEM FREE OF ALL TRASH, DIRT, DEBRIS, ETC.

DRAIN INLET DETAILS

SCALE: 1-1/2" = 1'-0"

4

L40



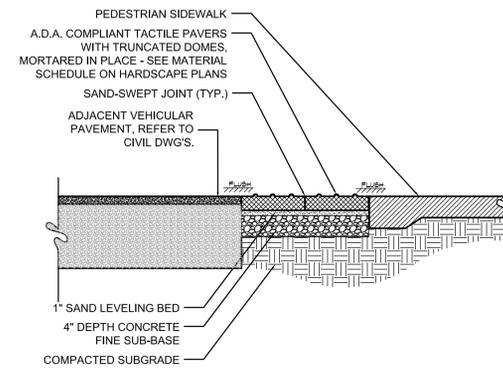
THIS DETAIL IS TYPICAL FOR ALL EXPANSION / CONTROL JOINTS.

SECTION THRU CONTROL JOINT & EXPANSION JOINT

SCALE: 3" = 1'-0"

3

L40

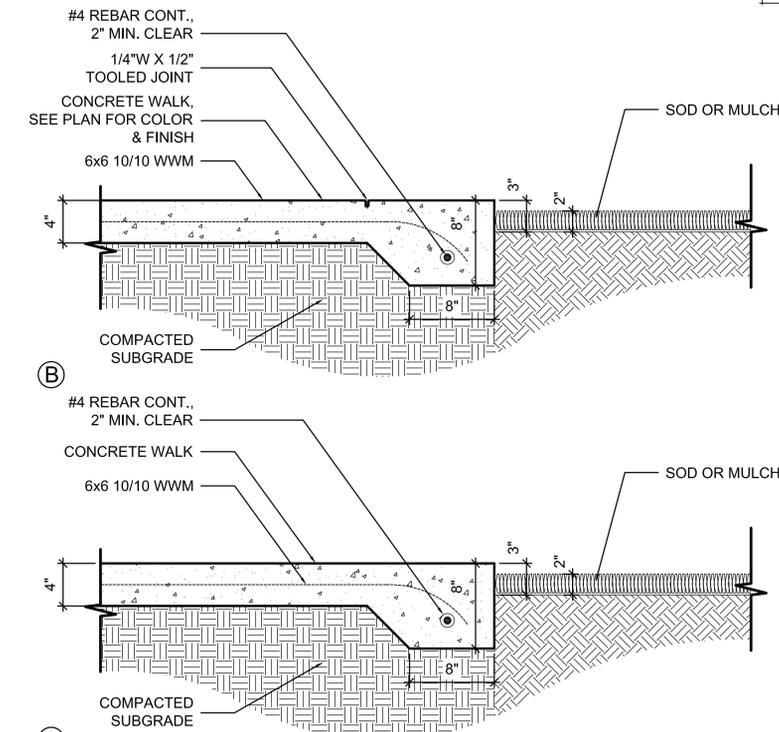


SECTION THRU ADA TACTILE BAND

SCALE: 3/4" = 1'-0"

2

L40



SECTION THRU CONC. PAVING @ LANDSCAPE

SCALE: 1-1/2" = 1'-0"

1

L40

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5. EXPANSION JOINTS TO BE PROVIDED IN CONCRETE AT A MINIMUM DISTANCE OF 30'-0" ON CENTER.
6. ALL DIMENSIONS TAKEN FROM FACE OF WALL/CURB UNLESS NOTED OTHERWISE ON PLAN.
7. CONTRACTOR TO PROVIDE 4' X 4' MOCK-UP OF EACH HARDSCAPE FLATWORK ELEMENT. EACH MOCK-UP SHALL INCLUDE THE COLOR, FINISH, TYPICAL CONTROL AND EXPANSION JOINT PATTERN AND COLORED CAULK. ALL MOCK-UPS SHALL BE CONSIDERED A PART OF THE SUBMITTAL PROCESS AND REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER, PRIOR TO INSTALLATION.
8. SEE ARCHITECTURAL DRAWINGS FOR ALL DETAILS ASSOCIATED WITH DUMPSTER AREA SCREEN WALL & ACCESS GATES.
9. REFER TO CIVIL ENGINEER'S DWG'S FOR GENERAL SITE GRADING INFORMATION.

HANDRAIL SPECIFICATIONS & NOTES:

1. ALL HANDRAILS SHALL BE 316 MARINE GRADE S.S. WITH POWDER-COAT APPLIED CLEAR-COAT
2. ALL HANDRAIL POSTS ARE TO BE INSTALLED IN DECK SURFACE WITH CORE-DRILL METHODS, CONTRACTOR TO PROVIDE NON-SHRINK GROUT, CLEAR CAULK TO BE APPLIED AT ALL LOCATIONS
3. HANDRAILS FOR ALL STEPS SHALL COMPLY WITH SECTION 505 OF THE F.B.C.
4. HEIGHT OF HANDRAILS SHALL BE BETWEEN 34"-38" MEASURED FROM TOP OF TREAD
5. ALL HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION GRIPPING SURFACE WITH AN O.D. OF 1-1/4" MIN. - 2" MAX.
6. ALL HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE EACH TOP OF LANDING 12 INCHES MIN. BEYOND THE RISER NOSING OF THE LAST TREAD.
7. HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FOR A HORIZONTAL DISTANCE AT LEAST EQUAL TO ONE TREAD DEPTH BEYOND THE LAST RISER NOSING.

60% CONSTRUCTION DOCUMENTS SUBMITTAL

KEY WEST CITY HALL AT GYNN ARCHER

1300 WHITE STREET KEY WEST, FLORIDA

CITY OF KEY WEST

REVISIONS:

LANDSCAPE ARCHITECT

ESciences

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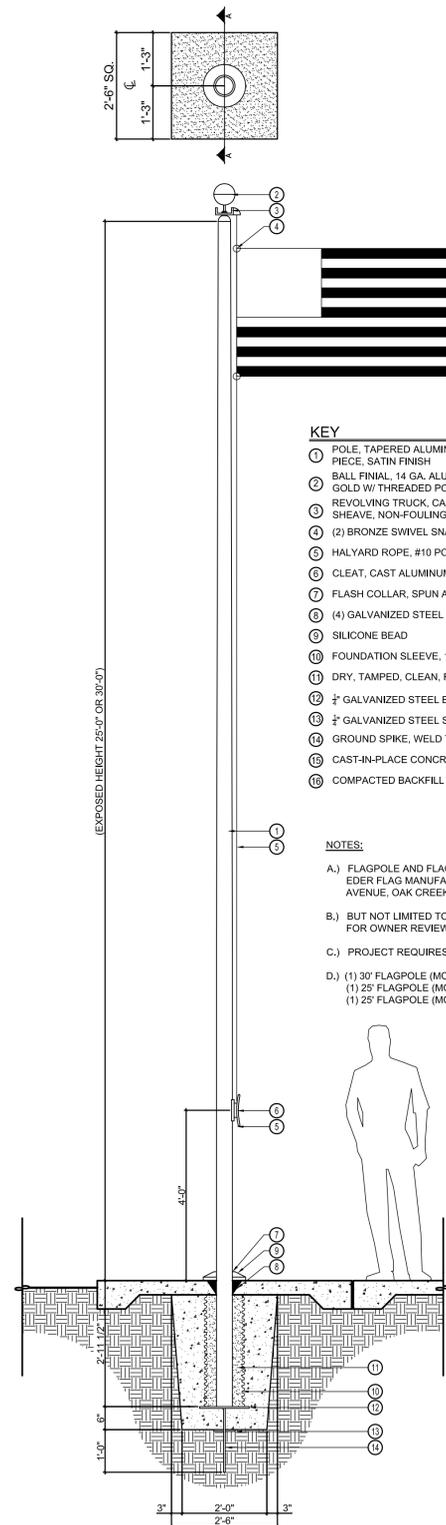
Bender & Associates ARCHITECTS p.a.

Project No: 1305

SITE HARDSCAPE DETAILS

Date: 03/03/14

L-40



KEY

- ① POLE, TAPERED ALUMINUM (6063-T6), SINGLE PIECE, SATIN FINISH
- ② BALL FINIAL, 1/4 GA. ALUMINUM ANODIZED GOLD W/ THREADED POST
- ③ REVOLVING TRUCK, CAST ALUMINUM, SINGLE SHEAVE, NON-FOULING W/ STAINLESS STEEL BEARINGS.
- ④ (2) BRONZE SWIVEL SNAPS W/ COVERS
- ⑤ HALYARD ROPE, #10 POLYESTER, WHITE
- ⑥ CLEAT, CAST ALUMINUM, STANDARD DUTY
- ⑦ FLASH COLLAR, SPUN ALUMINUM
- ⑧ (4) GALVANIZED STEEL CENTERING WEDGES
- ⑨ SILICONE BEAD
- ⑩ FOUNDATION SLEEVE, 16 GA. CORRUGATED HOT DIP GALVANIZED
- ⑪ DRY, TAMPED, CLEAN, FINE BUILDERS SAND
- ⑫ 1/2" GALVANIZED STEEL BASE PLATE
- ⑬ 1/2" GALVANIZED STEEL SUPPORT PLATE
- ⑭ GROUND SPIKE, WELDED TO SUPPORT PLATE
- ⑮ CAST-IN-PLACE CONCRETE FOOTING (3,000 PSI) SPONGE FINISH
- ⑯ COMPACTED BACKFILL

NOTES:

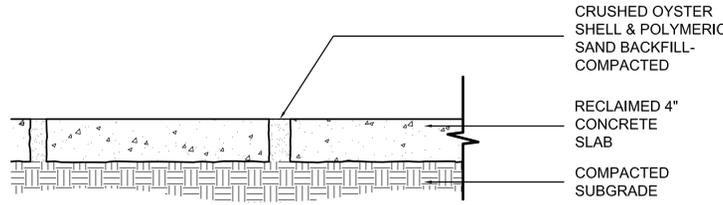
- A.) FLAGPOLE AND FLAGPOLE ACCESSORIES AS MANUFACTURED BY EDER FLAG MANUFACTURING COMPANY, 1000 W. RAWSON AVENUE, OAK CREEK, WI 53154 (800)558-6044 OR OWNER APPROVED EQUAL.
- B.) BUT NOT LIMITED TO, WINDLOAD DATA AND WARRANTY INFORMATION, FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCUREMENT.
- C.) PROJECT REQUIRES A TOTAL OF 3 FLAGPOLES (2 @ 25', 1 @ 30')
- D.) (1) 30' FLAGPOLE (MODEL # EC 30 IH) (AMERICAN FLAG 5'x8')
- (1) 25' FLAGPOLE (MODEL # EC 25 IH) (STATE OF FLORIDA FLAG 4'x6')
- (1) 25' FLAGPOLE (MODEL # EC-25 IH) (CITY OF KEY WEST FLAG 4'x6')

FLAG POLE DETAIL

SCALE: 1/2" = 1'-0"

2

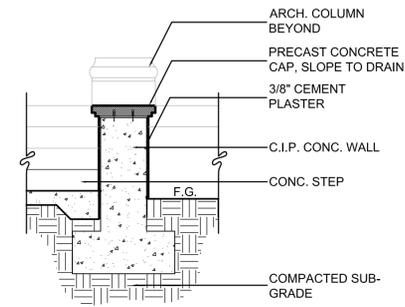
L41



- NOTES:**
- SOIL SUB-GRADE TO BE COMPACTED TO A 98% DRY DENSITY
 - CONTRACTOR SHALL MINIMIZE THE QUANTITY OF SMALL CONCRETE SEGMENTS WITHIN GARDEN WALK. MINIMUM DIMENSIONS ARE TO BE 2'X2'. FRACTURED EDGES ARE ACCEPTABLE.
 - NO JOINT BACKFILL AREAS SHALL EXCEED 1/4" ELEVATION CHANGE BELOW TOP OF ADJACENT CONCRETE WALK SURFACE.
 - CONTRACTOR TO PRESSURE WASH EXISTING WALK AREAS IDENTIFIED FOR REUSE PRIOR TO DEMOLITION & RELOCATION.
 - NO SEGMENTS OF CONCRETE WALK SHALL BE USED THAT HAVE EXCESSIVE AREAS OF WEAR, CHIPPING OR DISCOLORATION.
 - MAXIMUM CROSS-SLOPE OF WALK SURFACES NOT TO EXCEED 2%, NO DIRECTIONAL SLOPES SHALL EXCEED 5% WITHOUT HANDRAILS.

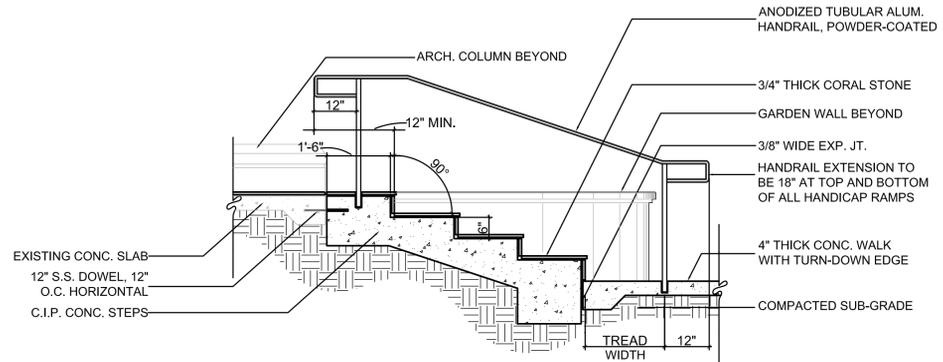
SECTION THRU GARDEN WALK

SCALE: 1-1/2" = 1'-0"



SECTION THRU CHEEK WALL

SCALE: 1/2" = 1'-0"



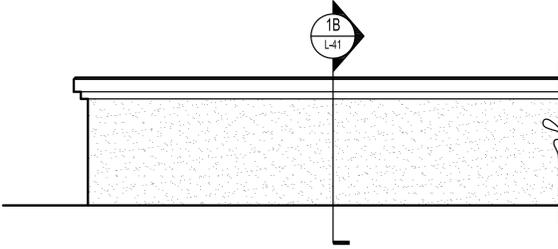
GENERAL NOTES:

- 1.) CONCRETE STEPS SHALL MEET ALL ADA, LOCAL & FBC REGULATIONS & CODES
- 2.) REFER TO STRUCTURAL DRAWINGS FOR ALL STEEL REINFORCEMENT DETAILS & STRUCTURAL NOTES
- 3.) ALL HANDRAIL POSTS TO BE INSTALLED WITH NON-METALLIC / NON-SHRINK GROUT & CLEAR CAULK

- Ⓐ CONCRETE STEPS WITH 18" TREAD/ 6" RISER (SEE GRADING PLANS FOR LOCATIONS OF EACH STEP TYPE)

SECTION THRU STEPS @ N.E. BUILDING ENTRY

SCALE: 1/2" = 1'-0"

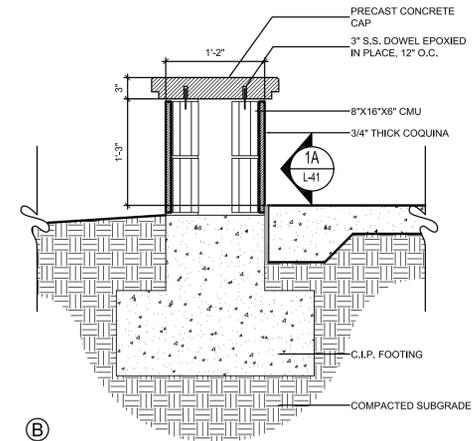


- NOTES:**
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 - ALL WALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

Ⓐ

SECTION THRU SEAT WALL

SCALE: 1" = 1'-0"



Ⓑ

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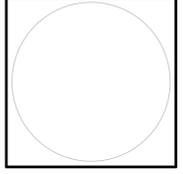
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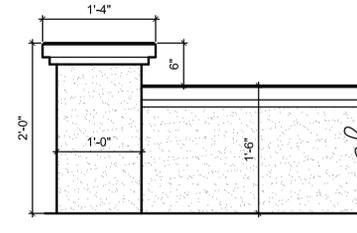
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ELEVATION OF SEAT WALL/COLUMN

SCALE: 1/2"=1'-0"

4
L42



ELEVATION OF GARDEN WALL @ REAR OF BUILDING

SCALE: 1/2"=1'-0"

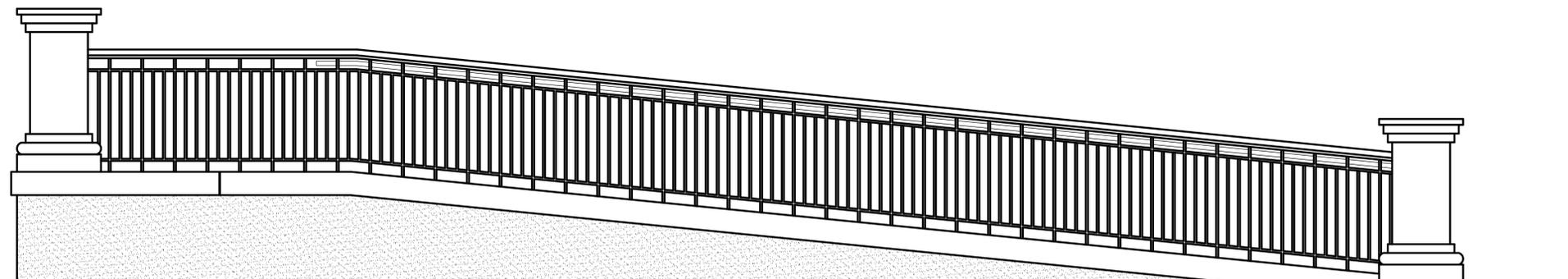
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L42



ELEVATION OF ADA ACCESSIBLE RAMP @ REAR OF BUILDING

SCALE: 1/2"=1'-0"

2
L42



ELEVATION OF ADA ACCESSIBLE RAMP @ FRONT OF BUILDING

SCALE: 1/2"=1'-0"

1
L42

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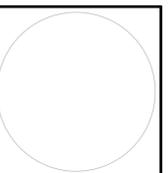
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4. HEIGHT OF HANDRAILS SHALL BE BETWEEN 34"-38" MEASURED FROM TOP OF TREAD
5. ALL HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION GRIPPING SURFACE WITH AN O.D. OF 1-1/4" MIN. -2" MAX.
6. ALL HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE EACH TOP OF LANDING 12 INCHES MIN. BEYOND THE RISER NOSING OF THE LAST TREAD.
7. HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FOR A HORIZONTAL DISTANCE AT LEAST EQUAL TO ONE TREAD DEPTH BEYOND THE LAST RISER NOSING.

60% CONSTRUCTION DOCUMENTS SUBMITTAL

REVISIONS:

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**KEY WEST CITY HALL
 AT GLYNN ARCHER**
 1300 WHITE STREET
 KEY WEST, FLORIDA
 CITY OF KEY WEST



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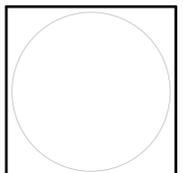
Bender & Associates
 ARCHITECTS
 p.a.

Project No: 1305
 SITE HARDSCAPE
 DETAILS
 Date: 03/03/14

L-42

REVISIONS:

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ARCHITECTS p.a.

Project No: 1305

SITE HARDSCAPE
DETAILS

Date: 12/16/13

L-43

FINISH SCHEDULE:

- A** D.C. KERCKHOFF CAP, TRIM & SURROUNDS
TYPE: CUSTOM, SEE DETAILS
COLOR: WHITE, S0010001
FINISH: ACID WASH
CONTACT: LAURA KERCKHOFF
PH. 239.597.7218
- B** STONE VENEER/CAP/TRIM SEALER
TYPE: LANCO CLEAR COAT SEALER
COLOR: N/A
FINISH: N/A
SOURCE: LANCO & HARRIS
PH. 407.240.4000

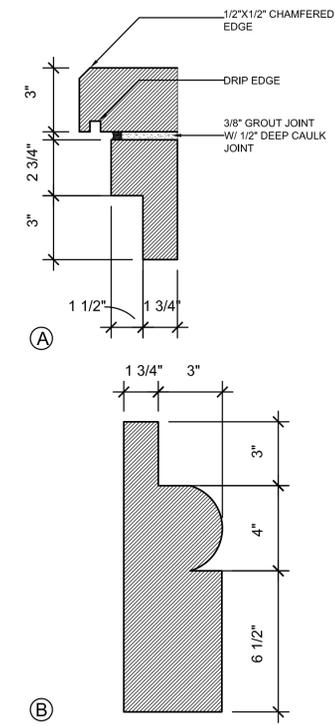
STRUCTURAL NOTES:
1.) SEE STRUCTURAL SHEETS X-XXX AND X-XXX FOR CONCRETE, REBAR, AND MASONRY REQUIREMENTS.
2.) SEE STRUCTURAL SHEET X-XXX FOR WIND PRESSURE CHART.

SHEET NOTES:

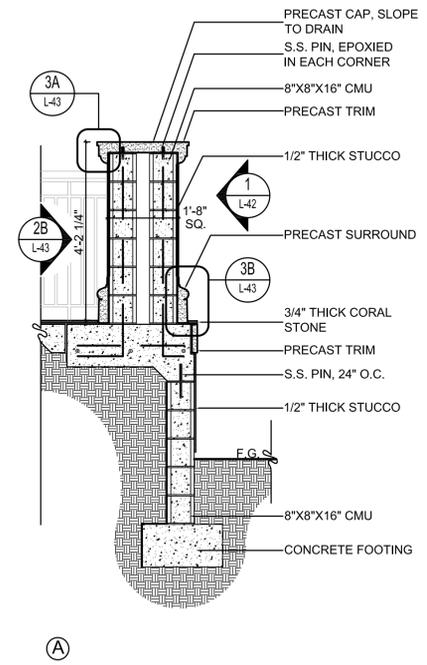
- ALL INTEGRAL COLORED CONCRETESURFACES TO BE SEALED WITH SCOFIELD 'REPELLO' PENETRATING WATER AND OIL REPELLANT, PER MANUFACTURER'S SPECIFICATIONS.
- ALL AGGREGATE TO BE 3/8" LIME- ROCK UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR STRUCTURAL DETAILS.
- ALL EXPANSION JOINTS TO BE CAULKED, COLORED CAULK USED IN JOINTS TO MATCH ADJACENT PAVING. CONTRACTOR TO SUBMIT SAMPLE(S) TO OWNER/LANDSCAPE ARCHITECT FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.
- EXPANSION JOINTS TO BE PROVIDED IN CONCRETE AT A MINIMUM DISTANCE OF 30'-0" ON CENTER.
- ALL DIMENSIONS TAKEN FROM FACE OF WALL/CURB UNLESS NOTED OTHERWISE ON PLAN.
- CONTRACTOR TO PROVIDE 4' X 4' MOCK-UP OF EACH HARDSCAPE FLATWORK ELEMENT. EACH MOCK-UP SHALL INCLUDE THE COLOR, FINISH, TYPICAL CONTROL AND EXPANSION JOINT PATTERN AND COLORED CAULK. ALL MOCK-UPS SHALL BE CONSIDERED A PART OF THE SUBMITTAL PROCESS AND REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER, PRIOR TO INSTALLATION.
- SEE ARCHITECTURAL DRAWINGS FOR ALL DETAILS ASSOCIATED WITH DUMPSTER AREA SCREEN WALL & ACCESS GATES.
- REFER TO CIVIL ENGINEER'S DWG'S FOR GENERAL SITE GRADING INFORMATION.

HANDRAIL SPECS & NOTES:

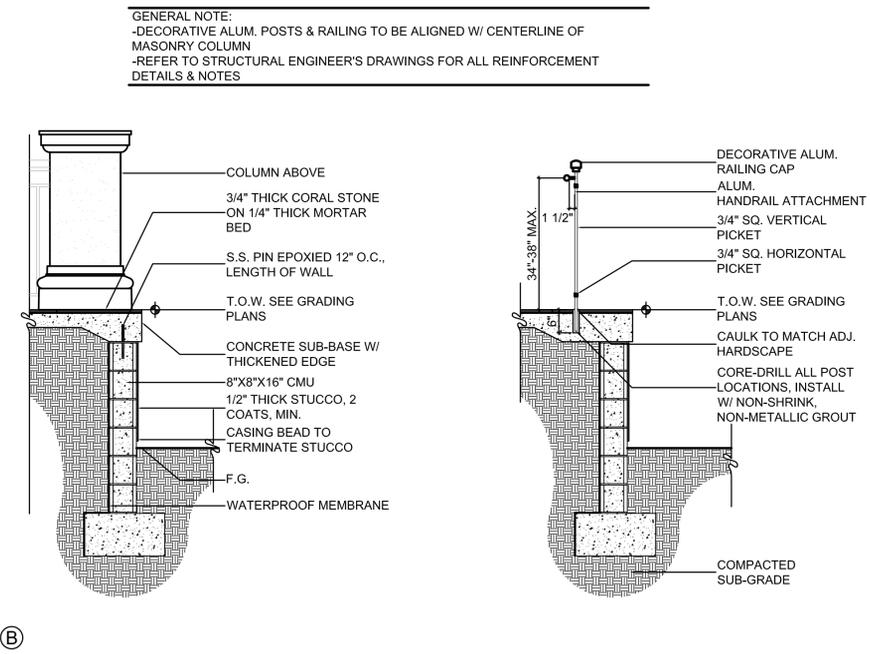
- ALL HANDRAILS SHALL BE 316 MARINE GRADE S.S. WITH POWDER-COAT APPLIED CLEAR-COAT
- ALL HANDRAIL POSTS ARE TO BE INSTALLED IN DECK SURFACE WITH CORE-DRILL METHODS, CONTRACTOR TO PROVIDE NON-SHRINK GROUT, CLEAR CAULK TO BE APPLIED AT ALL LOCATIONS
- HANDRAILS FOR ALL STEPS SHALL COMPLY WITH SECTION 505 OF THE F.B.C.
- HEIGHT OF HANDRAILS SHALL BE BETWEEN 34"-38" MEASURED FROM TOP OF TREAD
- ALL HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION GRIPPING SURFACE WITH AN O.D. OF 1-1/4" MIN. - 2" MAX.
- ALL HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE EACH TOP OF LANDING 12 INCHES MIN. BEYOND THE RISER NOSING OF THE LAST TREAD.
- HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FOR A HORIZONTAL DISTANCE AT LEAST EQUAL TO ONE TREAD DEPTH BEYOND THE LAST RISER NOSING.



PRECAST DETAILS 3
SCALE: 3"=1'-0"

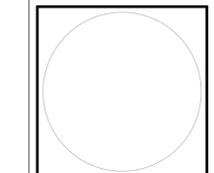


SECTION THRU ADA RAMP 2
SCALE: 1/2"=1'-0"



SECTION THRU ADA RAMP 1
SCALE: 1/2"=1'-0"

GENERAL NOTE:
-DECORATIVE ALUM. POSTS & RAILING TO BE ALIGNED W/ CENTERLINE OF MASONRY COLUMN
-REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ALL REINFORCEMENT DETAILS & NOTES



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Project N^o 1305
SITE LANDSCAPE
PLAN

Date: 03/03/14

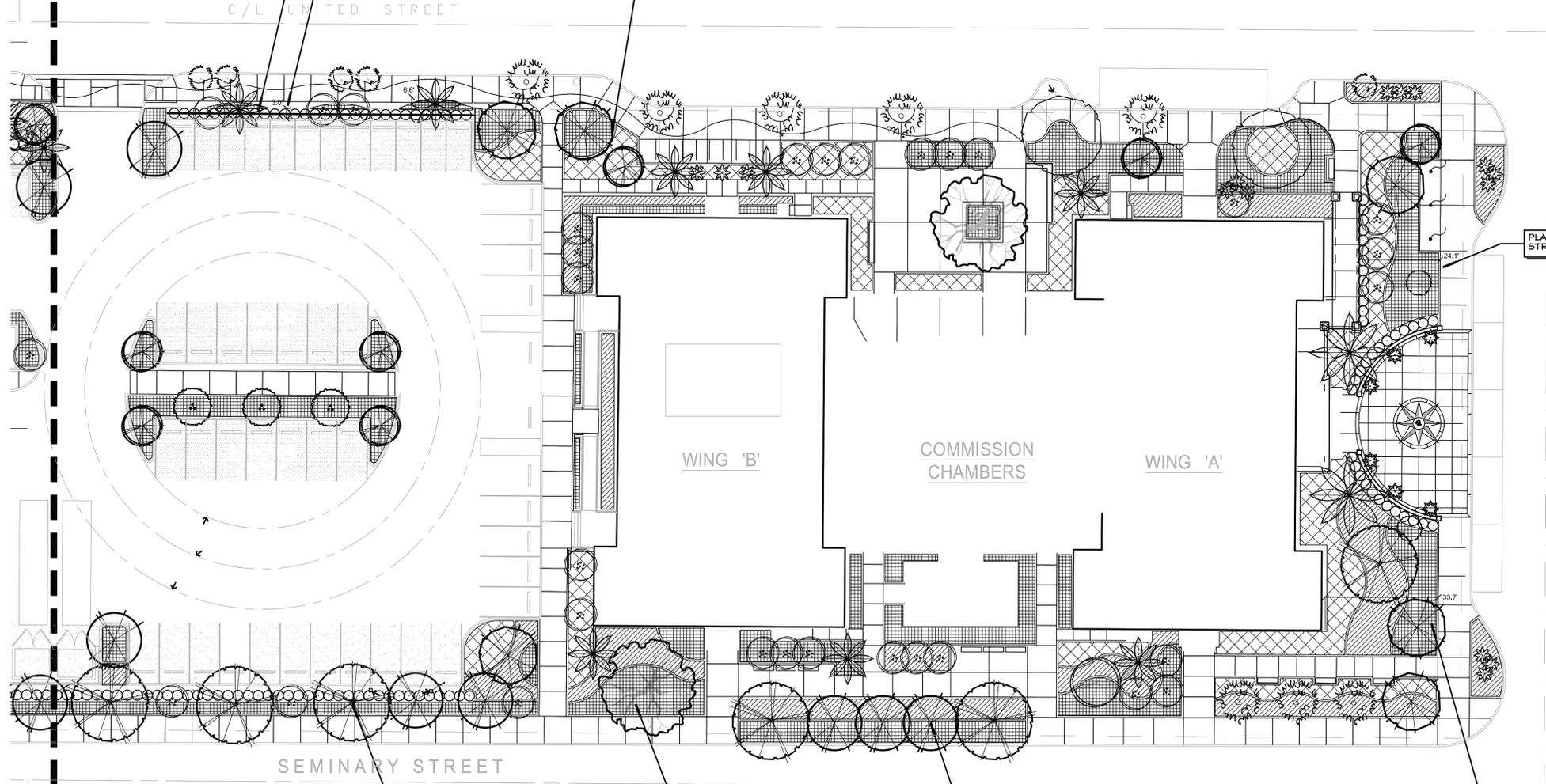
L-50

SHEET NOTES:
1. SEE PLANT LIST AND NOTES FOR ALL PLANT SPECIFICATIONS.

SYMBOLS LEGEND

- 2 / QVI
PLANT SYMBOL
PLANT QUANTITY
- LOW GROUNDCOVER
- MEDIUM/LARGE SHRUBS
- NATIVE ORNAMENTAL GRASSES
- BUTTERFLY GARDEN PLANTS

MATCHLINE SEE SHEET L-51



UNITED STREET (HMDR) 895 LINEAR FT. BUFFERYARD TYPE (B) 5' WIDTH

REQ'D:
3 CANOPY TREES/100 LF = 26 TREES
1 UNDERSTORY TREES/100 LF = 4 TREES
10 SHRUBS/100 LF = 84 SHRUBS

PROVIDED:
26 CANOPY TREES, 3" DBH, 12' HT. MIN.
50 UNDERSTORY TREES, 5' HT. MIN.
200+ SHRUBS, 36" MIN.

PLANT UNIT CALCULATION- SECTION 108-347(c & d)

UNITED STREET BUFFERYARD- 895 LF TYPE (B) 5' WIDTH

REQ'D:
895 LF OF BUFFER / 100= 8.95 X 40 PLANT POINTS= 354 PLANT POINTS

PROVIDED:
26 CANOPY TREES @ 10 POINTS= 260 POINTS
50 UNDERSTORY TREES @ 5 POINTS= 250 POINTS
200 SHRUBS @ 1 POINT= 200 POINTS

GRAND TOTAL BUFFERYARD POINTS: 710 POINTS

3.0' MIN.-6.6' MAX. PLANTING AREA PROVIDED, POTENTIAL WAIVER REQUIRED

PLANTING AREA VARIES ALONG WHITE STREET, POTENTIAL WAIVER REQUIRED

SEMINARY STREET (HMDR) 453 L. FT. BUFFERYARD TYPE (B) 5' WIDTH

REQ'D:
3 CANOPY TREES/100 LF = 14 TREES
1 UNDERSTORY TREES/100 LF = 5 TREES
10 SHRUBS/100 LF = 46 SHRUBS

PROVIDED:
14 CANOPY TREES, 3" DBH, 12' HT. MIN.
10 UNDERSTORY TREES, 5' HT. MIN.
60+ SHRUBS, 36" HT. MIN.

PARKING LOT PERIMETER LANDSCAPING

BUILDING SITE SQ. FT. = 37,122
REQ'D 7.5' MIN. WIDTH
PROVIDED WIDTH 9.5'
REQ'D 1 CANOPY TREE AND 10 SHRUBS/35 LINEAR FT.
PROVIDED 1+ CANOPY TREES AND 10+ SHRUBS/35 LINEAR FT.

PLANT UNIT CALCULATION- SECTION 108-347(c & d)

SEMINARY STREET BUFFERYARD- 453 LF TYPE (B) 5' WIDTH

REQ'D:
453 LF OF BUFFER / 100= 4.53 X 40 PLANT POINTS= 181.2 PLANT POINTS

PROVIDED:
14 CANOPY TREES @ 10 POINTS= 140 POINTS
10 UNDERSTORY TREES @ 5 POINTS= 50 POINTS
60 SHRUBS @ 1 POINT= 60 POINTS

GRAND TOTAL BUFFERYARD POINTS: PROVIDED: 250 POINTS

SEMINARY STREET (HMDR) 453 L. FT. BUFFERYARD TYPE (B) 5' WIDTH

REQ'D:
3 CANOPY TREES/100 LF = 14 TREES
1 UNDERSTORY TREES/100 LF = 5 TREES
10 SHRUBS/100 LF = 46 SHRUBS

PROVIDED:
14 CANOPY TREES, 3" DBH, 12' HT. MIN.
10 UNDERSTORY TREES, 5' HT. MIN.
60+ SHRUBS, 36" HT. MIN.

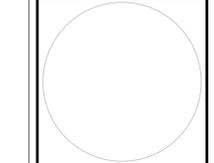
WHITE STREET (HMDR) 187 LINEAR FT. BUFFERYARD TYPE (B) 5' WIDTH

REQ'D:
3 CANOPY TREES/100 LF = 5 TREES
1 UNDERSTORY TREES/100 LF = 2 TREES
10 SHRUBS/100 LF = 19 SHRUBS

PROVIDED:
5 CANOPY TREES, 3" DBH, 12' HT. MIN.
6 UNDERSTORY TREES, 5' HT. MIN.
60+ SHRUBS, 36" HT. MIN.

MATCHLINE SEE SHEET L-51





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Project No. 1305

LANDSCAPE
PLAN

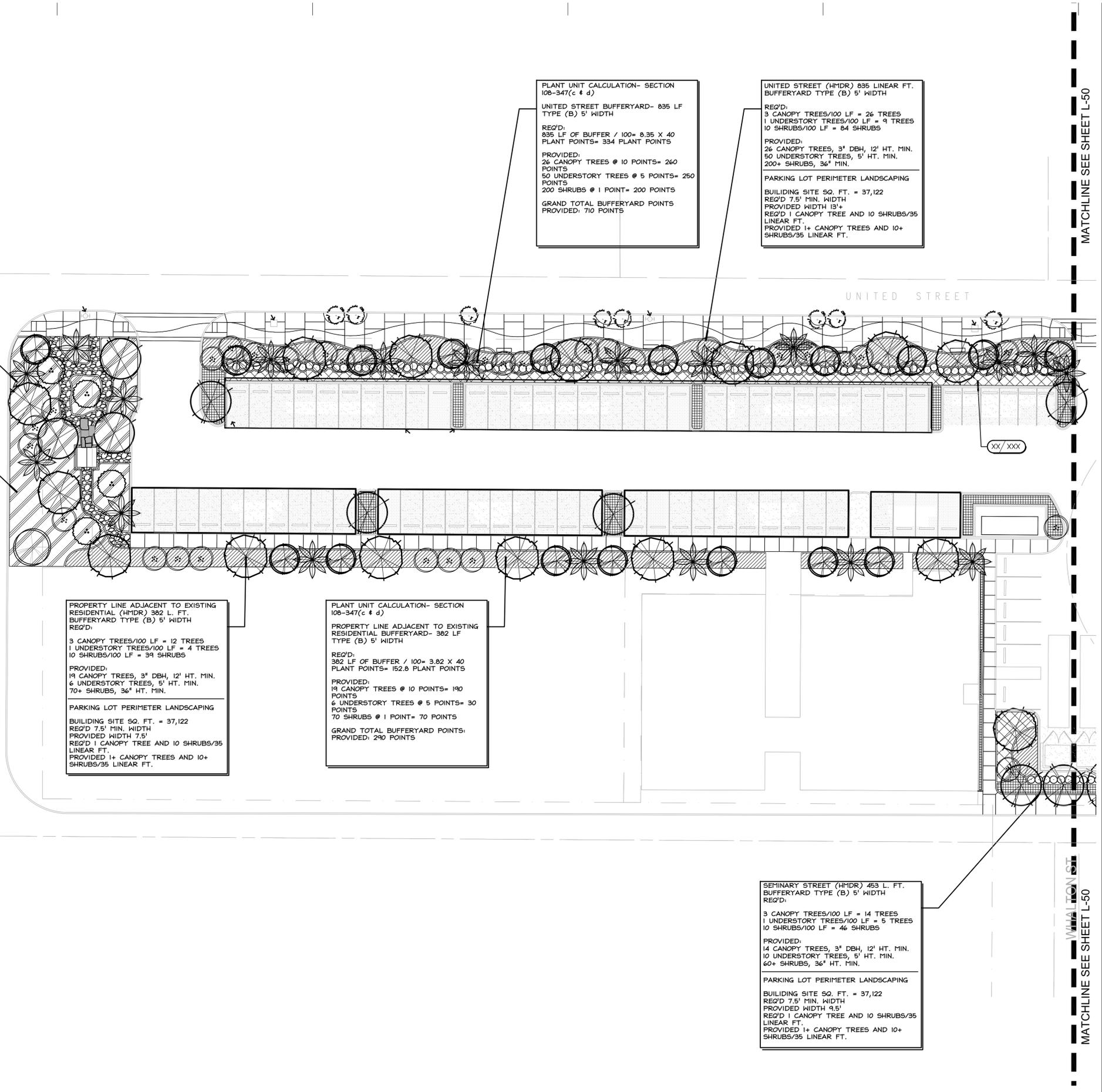
Date: 03/03/14

L-51

SHEET NOTES:
1. SEE PLANT LIST AND NOTES FOR ALL PLANT SPECIFICATIONS.

SYMBOLS LEGEND

- 2 / QVI
PLANT SYMBOL
PLANT QUANTITY
- LOW GROUNDCOVER
- MEDIUM/LARGE SHRUBS
- NATIVE ORNAMENTAL GRASSES
- BUTTERFLY GARDEN PLANTS



PLANT UNIT CALCULATION- SECTION 108-347(c & d)
UNITED STREET BUFFERYARD- 835 LF TYPE (B) 5' WIDTH
REQ'D:
835 LF OF BUFFER / 100= 8.35 X 40 PLANT POINTS= 334 PLANT POINTS
PROVIDED:
26 CANOPY TREES @ 10 POINTS= 260 POINTS
50 UNDERSTORY TREES @ 5 POINTS= 250 POINTS
200+ SHRUBS @ 1 POINT= 200 POINTS
GRAND TOTAL BUFFERYARD POINTS PROVIDED: 710 POINTS

UNITED STREET (HMDR) 835 LINEAR FT. BUFFERYARD TYPE (B) 5' WIDTH
REQ'D:
3 CANOPY TREES/100 LF = 26 TREES
1 UNDERSTORY TREES/100 LF = 9 TREES
10 SHRUBS/100 LF = 84 SHRUBS
PROVIDED:
26 CANOPY TREES, 3" DBH, 12' HT. MIN.
50 UNDERSTORY TREES, 5' HT. MIN.
200+ SHRUBS, 36" HT. MIN.
PARKING LOT PERIMETER LANDSCAPING
BUILDING SITE SQ. FT. = 37,122
REQ'D 7.5' MIN. WIDTH
PROVIDED WIDTH 13'+
REQ'D 1 CANOPY TREE AND 10 SHRUBS/35 LINEAR FT.
PROVIDED 1+ CANOPY TREES AND 10+ SHRUBS/35 LINEAR FT.

GRINNELL STREET (HMDR) 93 LINEAR FT. BUFFERYARD TYPE (B) 5' WIDTH
REQ'D:
3 CANOPY TREES/100 LF = 3 TREES
1 UNDERSTORY TREES/100 LF = 1 TREES
10 SHRUBS/100 LF = 8 SHRUBS
PROVIDED:
3 CANOPY TREES, 3" DBH, 12' HT. MIN.
4 UNDERSTORY TREES, 5' HT. MIN.
40+ SHRUBS, 36" HT. MIN.

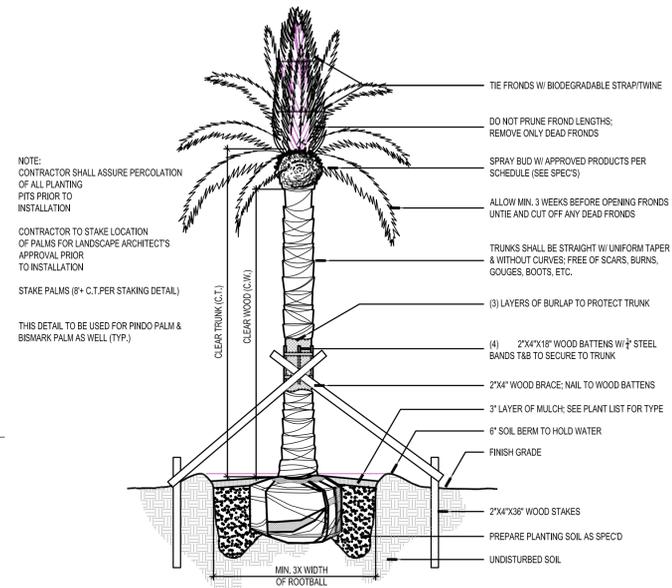
PLANT UNIT CALCULATION- SECTION 108-347(c & d)
GRINNELL STREET BUFFERYARD- 93 LF TYPE (B) 5' WIDTH
REQ'D:
93 LF OF BUFFER / 100= .93 X 40 PLANT POINTS= 37.2 PLANT POINTS
PROVIDED:
3 CANOPY TREES @ 10 POINTS= 30 POINTS
4 UNDERSTORY TREES @ 5 POINTS= 20 POINTS
40 SHRUBS @ 1 POINT= 40 POINTS
GRAND TOTAL BUFFERYARD POINTS PROVIDED: 90 POINTS

PROPERTY LINE ADJACENT TO EXISTING RESIDENTIAL (HMDR) 382 L. FT. BUFFERYARD TYPE (B) 5' WIDTH
REQ'D:
3 CANOPY TREES/100 LF = 12 TREES
1 UNDERSTORY TREES/100 LF = 4 TREES
10 SHRUBS/100 LF = 39 SHRUBS
PROVIDED:
19 CANOPY TREES, 3" DBH, 12' HT. MIN.
6 UNDERSTORY TREES, 5' HT. MIN.
70+ SHRUBS, 36" HT. MIN.
PARKING LOT PERIMETER LANDSCAPING
BUILDING SITE SQ. FT. = 37,122
REQ'D 7.5' MIN. WIDTH
PROVIDED WIDTH 7.5'
REQ'D 1 CANOPY TREE AND 10 SHRUBS/35 LINEAR FT.
PROVIDED 1+ CANOPY TREES AND 10+ SHRUBS/35 LINEAR FT.

PLANT UNIT CALCULATION- SECTION 108-347(c & d)
PROPERTY LINE ADJACENT TO EXISTING RESIDENTIAL BUFFERYARD- 382 LF TYPE (B) 5' WIDTH
REQ'D:
382 LF OF BUFFER / 100= 3.82 X 40 PLANT POINTS= 152.8 PLANT POINTS
PROVIDED:
19 CANOPY TREES @ 10 POINTS= 190 POINTS
6 UNDERSTORY TREES @ 5 POINTS= 30 POINTS
70 SHRUBS @ 1 POINT= 70 POINTS
GRAND TOTAL BUFFERYARD POINTS PROVIDED: 290 POINTS

SEMINARY STREET (HMDR) 463 L. FT. BUFFERYARD TYPE (B) 5' WIDTH
REQ'D:
3 CANOPY TREES/100 LF = 14 TREES
1 UNDERSTORY TREES/100 LF = 5 TREES
10 SHRUBS/100 LF = 46 SHRUBS
PROVIDED:
14 CANOPY TREES, 3" DBH, 12' HT. MIN.
10 UNDERSTORY TREES, 5' HT. MIN.
60+ SHRUBS, 36" HT. MIN.
PARKING LOT PERIMETER LANDSCAPING
BUILDING SITE SQ. FT. = 37,122
REQ'D 7.5' MIN. WIDTH
PROVIDED WIDTH 9.5'
REQ'D 1 CANOPY TREE AND 10 SHRUBS/35 LINEAR FT.
PROVIDED 1+ CANOPY TREES AND 10+ SHRUBS/35 LINEAR FT.



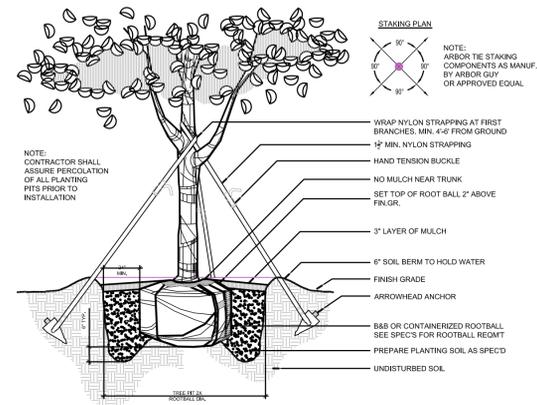


SPECIMEN PLANTING DETAIL

SCALE: N.T.S.

7

1-L60

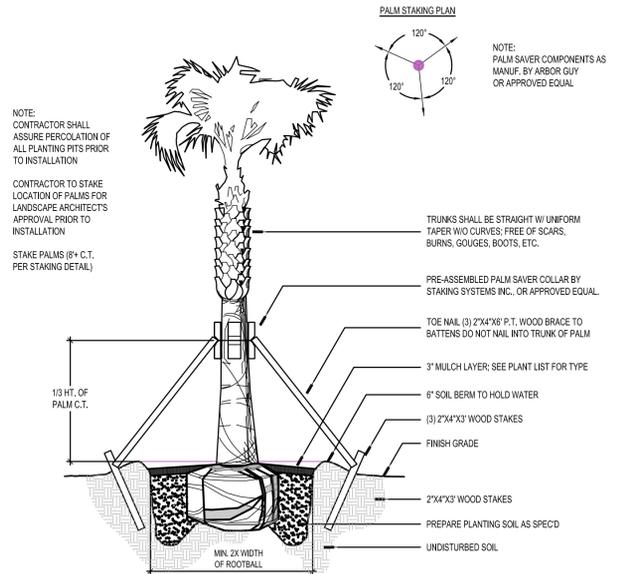


LARGE CANOPY PLANTING DETAIL

SCALE: N.T.S.

4

1-L60

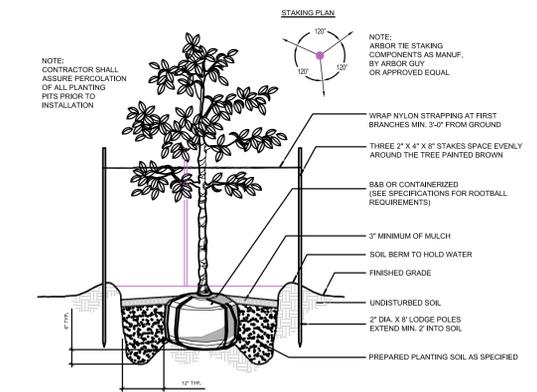


SABAL PALM PLANTING DETAIL

SCALE: N.T.S.

6

1-L60

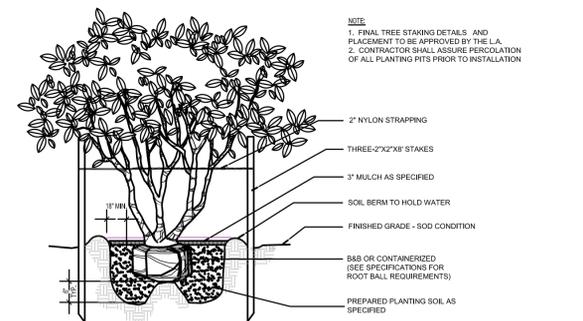


SMALL CANOPY TREE PLANTING DETAIL

SCALE: N.T.S.

3

1-L60

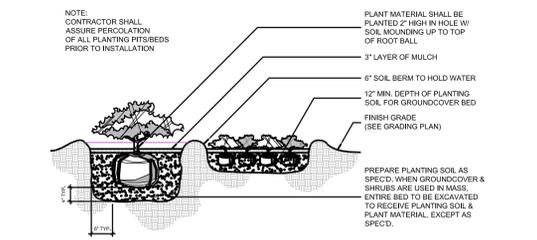


MULTI-TRUNK TREE PLANTING DETAIL

SCALE: N.T.S.

5

1-L60



SHRUB & GROUND COVER PLANTING DETAIL

SCALE: N.T.S.

2

1-L60

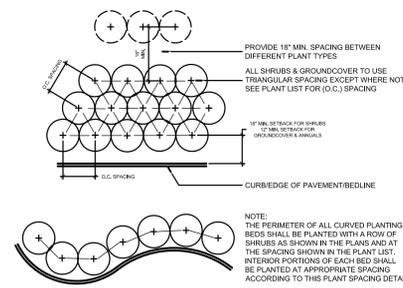
Zone	Symbol	Botanical Name	Common Name	Specification
Butterfly Garden	ACH	Acalypha hispida	Chenille Plant	3 Gal., Full in Pot, 48" O.C.
	ASC	Asclepias sp.	Milkweed	1 Gal., Full in Pot, 24" O.C.
	BRE	Barleria Repens	Coral Creeper	3 Gal., Full in Pot, 24" O.C.
	CAA	Citrum asiaticum 'arnabile'	Purple Citrus Lily	7 Gal., 28"-30" Ht. X 28"-30" Sprd.
	CAL	Callistemon sp.	Bottlebrush	25 Gal., 4'-5' Ht. X 3'-4' Sprd.
	CAM	Callicarpa americana	American Beauty Berry	3 Gal., 3-4 Stem, Full
	CVA	Codiaeum variegatum	Croton	3 Gal., 18"-24" Ht. X 15"-18" Sprd., 36" O.C.
	EGL	Evolvus glomeratus	Blue Daze	1 Gal., Full in Pot, 24" O.C.
	GSA	Guaiacum sanctum	Lignum Vitae	15 Gal., 4'-5' Ht. X 3'-4' Sprd.
	HDE	Helianthis debilis	Dune Sunflower	1 Gal., Full in Pot, 18" O.C.
	HIS	Hibiscus sp.	Hibiscus	7 Gal., 28"-30" Ht. X 18"-24" Sprd.
	HPA	Hamelia patens	Firebush	3 Gal., 18"-24" Ht. X 15"-18" Sprd., 36" O.C.
	IXS	Ixora sp.	Red Ixora	3 Gal., 15"-18" Ht. X 15"-18" Sprd., 36" O.C.
	JAS	Jatropha sp.	Red Jatropha	3 Gal., Full in Pot, 36" O.C.
	JMU	Jasminum multiflorum	Downy Jasmine	3 Gal., Full in Pot, 48" O.C.
	ODS	Odontonema strictum	Red Firespike	3 Gal., Full in Pot, 36" O.C.
PAU	Plumbago auriculata	Blue Plumbago	3 Gal., Full in Pot, 36" O.C.	
PLA	Pentas lanceolata	Pentas	1 Gal., Full in Pot, 12" O.C.	
PPI	Psidium piscipula	Jamaica Dogwood	25 Gal., 7-8' Ht. X 4'-5' Sprd.	
RBR	Ruellia brittonia	Mexican Bluebells	1 Gal., Full in Pot, 18" O.C.	
REQ	Russelia equisetiformis	Firecracker	1 Gal., Full in Pot, 24" O.C.	
SPO	Senna polyphylla	Desert Cassia	25 Gal., 5-6' Ht. X 3'-4' Sprd.	
Common Areas & Butterflyyards	ACF	Acacia farnesiana	Sweet Acacia	65 Gal., 12'-14" Ht. X 5'-6" Sprd.
	ACW	Acoelorrhaphe wrightii	Paurotis Palm	10'-12" Ht., 5-6 Trunks, F.G.
	BUS	Bursera simaruba	Gumbo Limbo	30 Gal., 12'-14" Ht. X 5'-6" Sprd.
	COA	Coccothrinax argentata	Silver Palm	15 Gal., 4'-5' Ht. X 4'-5' Sprd.
	COE	Conocarpus erectus var. sericeus	Silver Buttonwood	25 Gal., 8-10' Ht., 4 C.T., Min.
	CSE	Cordia sebestena	Orange Geiger Tree	45 Gal., 10'-12" Ht. X 5'-6" Sprd.
	DER	Delonix regia	Royal Poinciana	15-18" Ht., Specimen
	LC	Ilex cassine	Dahoon Holly	15 Gal., 6'-8" Ht. X 3'-4' Sprd.
	NM	Ilex vomitoria	Yaupon Holly	15 Gal., 6'-8" Ht. X 3'-4' Sprd., 3 Trunks, Min.
	KRF	Krugiodendron ferreum	Black Ironwood	12'-14" Ht., 3" DBH, Min.
	LYL	Lysioloma latisiliquum	Wild Tamarind	25 Gal., 7-8' Ht. X 4'-5' Sprd.
	MYC	Myrica cerifera	Wax Myrtle	15 Gal., 5-6' Ht. X 3'-4' Sprd., 3-4 Canes, Min.
	PPI	Psidium piscipula	Jamaica Dogwood	25 Gal., 7-8' Ht. X 4'-5' Sprd.
	ROE	Roystonea elata	Florida Royal Palm	22' G.W., Specimen, Matched
	SAP	Sabal palmetto	Sabal Palm	C.T. Hts Vary, See Plan
	SUM	Suriana maritima	Bay Cedar	15 Gal., 5-7' Ht. X 3'-4' Sprd.
	SWM	Swietenia mahogani	Mahogany	45 Gal., 3" DBH, 12'-14" Ht. X 7'-8" Sprd., Min.
	THP	Thinxax parviflora	Florida Thatch Palm	12'-14" Ht., O.A., F.G.
	THR	Thinxax radiata	Florida Thatch Palm	65 Gal., 7-8' Ht.
	Shrubs/Groundcover/Grasses	BYL	Byronima lucida	Locustberry
CAM		Callicarpa americana	American Beauty Berry	3 Gal., 3-4 Stem, Full
CHI		Chrysobalanus icaco 'Red Tip'	Cocoplum	3 Gal., 20"-24" Ht., Full, 36" O.C.
COG		Coccoloba uvifera	Sea Grape	15 Gal., 5'-6" Ht. X 3'-4' Sprd.
CON		Conocarpus erectus	Silver Buttonwood	7 Gal., 36" Ht., 36" O.C.
CRA		Critium americanum	Swamp Lily	3 Gal., 18"-24" Ht., Full, 36" O.C.
DUR		Duranta repens	Golden Dewdrop	15 Gal., Standard
ERH		Erythrina herpocaea	Coral Bean	7 Gal., 28"-30" Ht. X 24"-28" Sprd.
GAP		Gaillardia pulchella	Blanket Flower	1 Gal., Full in Pot, 18" O.C.
HPA		Hamelia patens 'Calusa'	Calusa Firebush	3 Gal., 18"-24" Ht. X 15"-18" Sprd., 36" O.C.
HPD		Hamelia patens Dwarf	Dwf. Firebush	7 Gal., 36" Ht., 36" O.C.
HDE		Helianthis debilis	Dune Sunflower	1 Gal., Full in Pot, 18" O.C.
IVS		Ilex vomitoria 'Schellings'	Dwf. Yaupon Holly	3 Gal., 18"-24" Ht., Full, 36" O.C.
RHH		Rhapidophyllum hystrix	Needle Palm	15 Gal., 30"-36" Ht., Full
SRS		Serenoa repens 'Silver-form'	Saw Palmetto	7 Gal., 28"-30" Ht. X 24"-28" Sprd.
SCP		Scaevola plumieri	Inkberry	3 Gal., 18"-24" Ht., Full, 36" O.C.
SPB		Spartina bakerii	Sand Cordgrass	3 Gal., 18"-24" Ht., Full, 36" O.C.
UNP		Uniola paniculata	Sea Oats	3 Gal., 12"-18" Ht., Full, 30" O.C.
YUF	Yucca filamentosa	Adam's Needle	3 Gal., 28"-30" Ht., Full	
ZAP	Zamia pumila	Coontie Palm	3 Gal., Full in Pot, 36" O.C.	

SHRUB & GROUND COVER SPACING DETAIL

SCALE: N.T.S.

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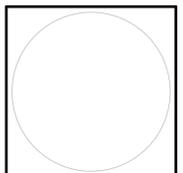
SHEET NOTES:

- 'SOD' AREAS SHALL BE COVERED WITH ZOYSIA 'ULTIMATE FLORA' AS INDICATED ON PLANS
- NEWLY INSTALLED "SHADE" TREES SHALL HAVE THEIR CALIPER MEASURED 6" ABOVE THE TOP OF THE ROOT BALL. ALL NEWLY INSTALLED "UNDERSTORY" TREES SHALL HAVE THEIR D.B.H. MEASURED 54" ABOVE THE TOP OF THE ROOT BALL.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED THE STANDARDS OF FLORIDA NO 1 AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS 1998," STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, AND ANY AMENDMENTS THERETO.
- THE LANDSCAPE ARCHITECT OR OWNER MAY REJECT ANY PLANT MATERIAL BROUGHT TO THE SITE WHICH HE DEEMS TO BE OF INFERIOR QUALITY OR APPEARANCE.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM OF 3" DEPTH PINE BARK MULCH. MAINTAIN A 4" CLEAR SPACE BETWEEN MULCH AND THE PLANT STEM.
- ALL TREES SHALL HAVE ALL SYNTHETIC BURLAP REMOVED FROM THE ENTIRE ROOT BALL. JUTE BURLAP SHALL BE REMOVED FROM THE TOP ONE-THIRD OF THE ROOT BALL. THE TOP THREE ROWS OF SQUARES ON ALL CAGES AROUND THE ROOT BALLS SHALL BE CLIPPED OFF AND REMOVED.
- THE CONTRACTOR SHALL READ AND ADHERE TO ALL WRITTEN SPECIFICATIONS. THESE DOCUMENTS ARE ACCOMPANIED BY 8 1/2 X 11 SPECIFICATIONS.
- THE CONTRACTOR SHALL VISUALLY INSPECT THE SOILS CONDITION OF THE SITE. HE SHALL DIG A MINIMUM OF 12 TEST HOLES 3 FOOT DEEP RANDOMLY AROUND THE SITE. HE SHALL PERFORM PERCOLATION TESTS IN THESE HOLES FOR A PERIOD OF ONE HOUR EACH. THE HOLES SHALL BE FILLED WITH WATER AND IF THE HOLES HOLD MORE THAN 6" OF WATER AFTER ONE HOUR, THE LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF THE PROBLEM. THE CONTRACTOR SHALL RECOMMEND SUBSTITUTIONS OF PLANT MATERIAL AND PLANTING INSTALLATION TO ACCOMMODATE POOR DRAINING SOILS.
- THE CONTRACTOR SHALL PROVIDE A SOIL TEST IN FOUR LOCATIONS AND PROVIDE RECOMMENDATIONS FOR AMENDMENTS BASED ON THE RESULTS. IMPROPER SOIL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL RECTIFY ALL INCURRED DAMAGES AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REVIEW THE SOILS REPORT ON FILE WITH THE OWNER.
- THE INSTALLATION OF PLANT MATERIAL SHALL BE VIEWED AS ACCEPTANCE BY THE CONTRACTOR OF EXISTING GRADES AS GIVEN TO HIM. THE CONTRACTOR SHALL PROVIDE TO THE LANDSCAPE ARCHITECT A WRITTEN LETTER OF ACCEPTABILITY OF GRADES. FAILURE TO DO SO WILL BE VIEWED AS AN ACCEPTANCE OF EXISTING GRADES BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BERM ALL PARKING LOT ISLANDS 12" ABOVE TOP OF CURB ELEVATION WITHOUT EXCEEDING A 4:1 SLOPE (TYPICAL).
- WHERE LIGHT POLES AND TREES BOTH OCCUR IN A PARKING LOT ISLANDS, THE TREE SHALL BE SPACED AN ADEQUATE DISTANCE FROM THE POLE.
- THE CONTRACTOR WILL BE REQUIRED TO SAND AREAS OF SOD THAT ARE NOT SMOOTHLY APPLIED TO ELIMINATE SMALL IRREGULARITIES IN GRADES. LARGE IRREGULARITIES IN GRADE WILL REQUIRE REGRADING & RESODDING.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE SITE INCLUDING ALL MOWING, EDGING, TRIMMING, PRUNING & SPRAYING OF PESTICIDES & FUNGICIDES UNTIL THE TIME OF FINAL ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL REVIEW THE CIVIL ENGINEER'S UNDER-DRAIN PLAN TO AVOID CONFLICTS WHEN PLANTING ALL MATERIAL. REFER TO THE PLANTING DETAILS FOR SPECIFIC PLANTING DETAILS FOR TREES, SHRUBS & GROUND COVER. THE CONTRACTOR SHALL ADJUST THE IRRIGATION AS NECESSARY TO AVOID OVER WATERING OF PLANT MATERIAL DUE TO WET SITE CONDITIONS.

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REVISIONS:
1. 03/03/14 REVISED PER DRC REVIEW

KEY WEST CITY HALL
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CITY OF KEY WEST



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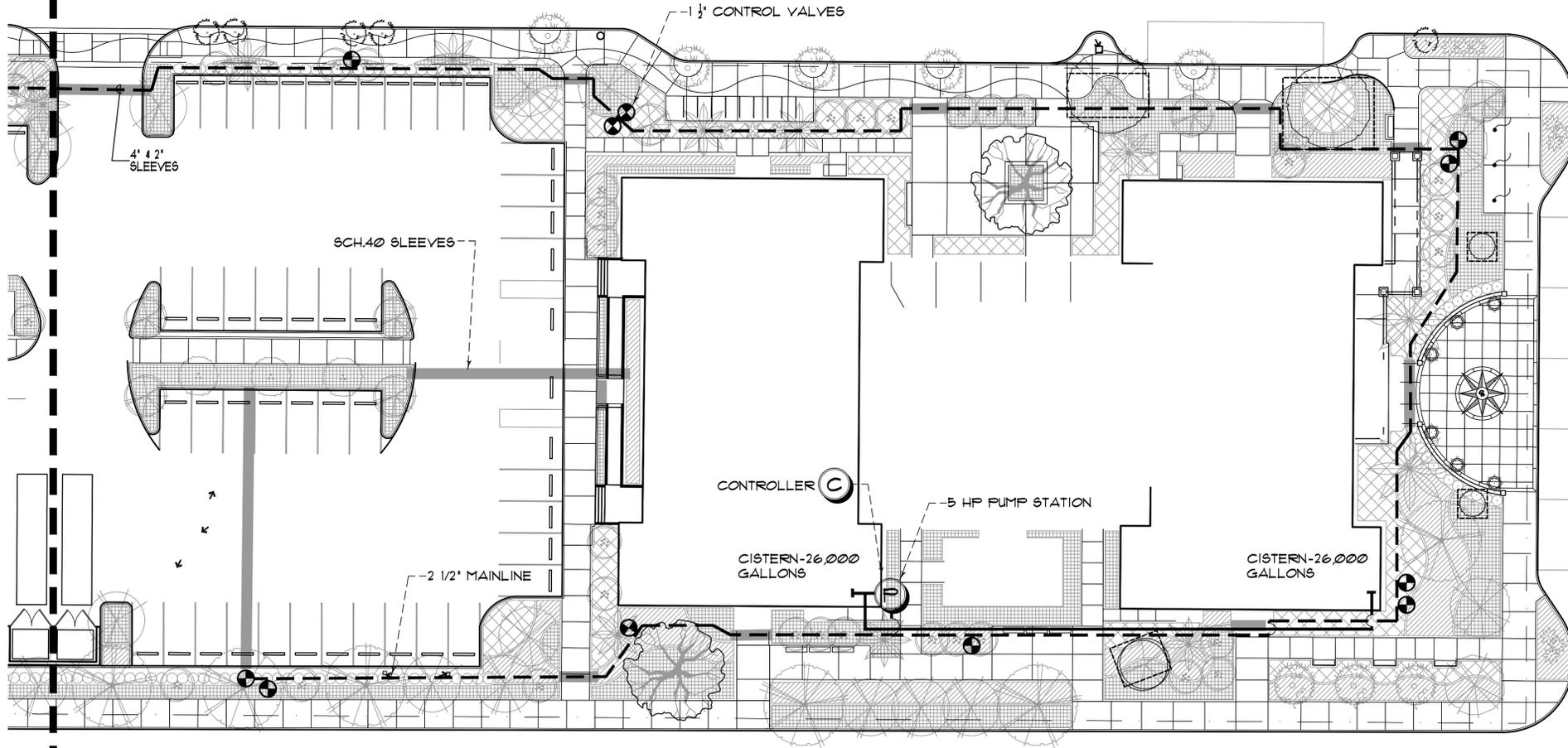
410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License JAC002022

Bender & Associates
ARCHITECTS
P.A.

Project No: 1305
PLANT PALETTE & PLANTING DETAILS
Date: 03/03/14

L-60

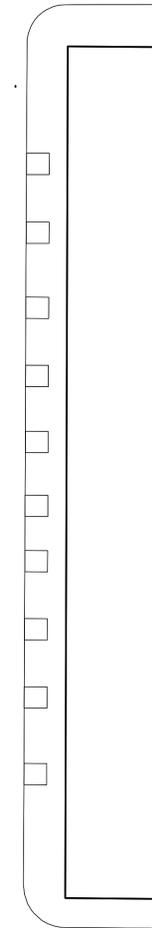
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SHEET NOTES:

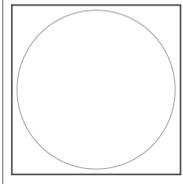
SYMBOLS LEGEND



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REVISIONS:

KEY WEST CITY HALL
 AT GLYNN ARCHER
 1300 WHITE STREET KEY WEST, FLORIDA
 CITY OF KEY WEST



LANDSCAPE ARCHITECT

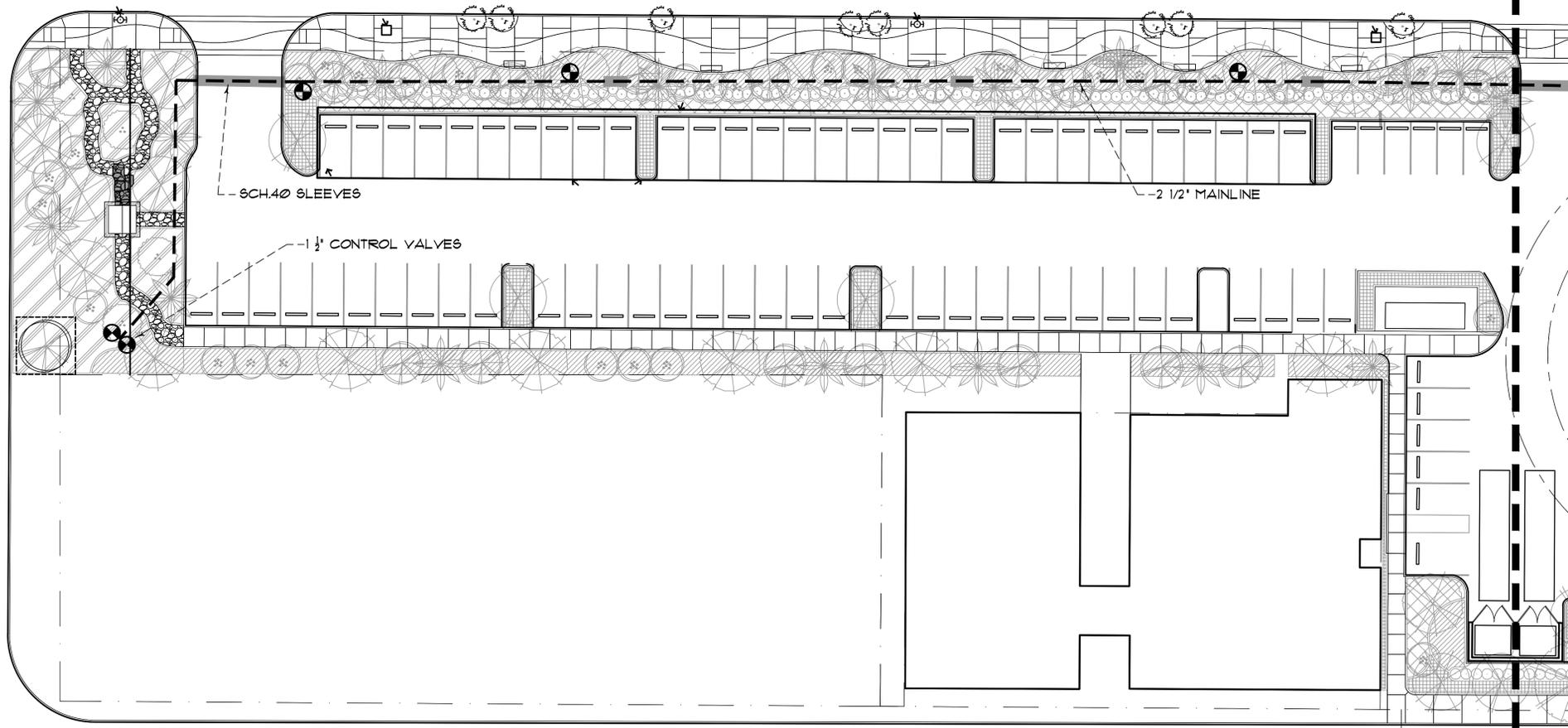
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Project N^o 1305
 IRRIGATION
 PLAN

Date: 3/03/14



SHEET NOTES:

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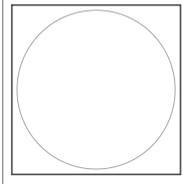


REVISIONS:

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L-71

LEGEND

	HUNTER PFS40 6' POP-UP SPRAY HEAD W/ CHECK VALVE
	TREE BUBBLERS- TWO PER TREE. REFER TO THE DETAIL.
	NETAFIM DRIP BUBBLER TREE RING- REFER TO DRIP BUBBLER DETAIL.
	NETAFIM FLAG INDICATOR- REFER TO THE DETAIL.
	NETAFIM FLUSH VALVE
	NETAFIM TECHLINE CV 11MM DRIP TUBING- 1 GPM EMITTERS EVERY 12". PLACE ROWS 12" APART IN ALL GROUND COVER BEDS. INSTALL A DOUBLE ROW ON ALL HEDGE ROWS. DRIP LINES ARE SHOWN PERPENDICULAR TO LANDSCAPE BEDS IN SOME AREAS FOR CLARITY PURPOSES ONLY. INSTALL DRIP TUBING ALONG THE LONGEST WIDTH OF THE PLANT BED. REFER TO ALL NOTES AND DETAILS ON THIS SHEET.
	CLASS 200 PVC DRIP HEADER PIPE-REFER TO DETAIL.
	CLASS 200 PVC MAINLINE-2 1/2"
	CLASS 200 PVC LATERAL LINE- SIZE AS SHOWN UNTIL A SMALLER SIZE IS SHOWN. MINIMUM SIZE OF 3/4"
	SCH. 40 SLEEVE (MINIMUM OF 24" DEPTH AND 2 SIZES LARGER THAN THE PIPE SIZE OR AS LABELED ON THE PLAN)
	HUNTER ICV ELECTRIC VALVE, 1 1/2" OR SIZE AS SHOWN BELOW. INSTALL VALVE IN AN 11X17" VALVE BOX. Ø-24 GPM+1" 25-55 GPM+1 1/2" 56 AND HIGHER GPM+2"
	HUNTER ZONE CONTROL KIT- REFER TO THE DETAIL.
	CONTROLLER-BASELINE IS STATION WHERE SHOWN ON THE PLAN. INSTALL WITH A SOIL MOISTURE SENSORS, MASTER VALVE AND FLOW METER. GROUND AS PER THE DETAIL AND MANUFACTURERS SPECIFICATIONS.
	5 HP CENTRIFUGAL PUMP. THE WATER SUPPLY SHALL BE TWO 26,000 GALLON CISTERNS.

GENERAL NOTES

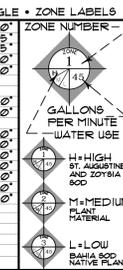
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS. HAND DIG AROUND ANY EXISTING TREES. DO NOT CUT ANY ROOTS OVER 2" IN DIAMETER.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 8" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. DO NOT USE POLYETHYLENE PIPE.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES & BLDG. WALLS. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING. USE ADJUSTABLE NOZZLES WHERE REQUIRED TO AVOID ANY WATER ON BUILDING WINDOWS.
- ALL RISERS SHALL BE PAINTED BLACK OR A COLOR CHOSEN BY THE OWNER'S REPRESENTATIVE (IF ALLOWED BY CODE) AND SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH PVC ULTRAVIOLET LIGHT PROTECTED PVC CLAMPS. RECLAIMED SYSTEMS MAY REQUIRE THE PIPE TO BE PURPLE.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING 3M DRY-Y WIRE CONNECTORS AND SEALANT WITH WIRE NUTS.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING ALL IRRIGATION INSTALLATION. THE CONTRACTOR SHALL NEATLY MARK IN RED INK ON A WHITE BOND PAPER COPY OF THE IRRIGATION PLAN ANY INSTALLATION THAT DEVIATES FROM THE PLAN. THE AS-BUILT DRAWING SHALL ALSO LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. MEASUREMENTS SHALL BE MARKED ON THE PLAN EVEN WHEN THE EQUIPMENT IS INSTALLED IN THE EXACT LOCATION AS THE PLAN.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES. THE VALVE BOXES SHALL BE PURPLE WHEN USING RECLAIMED WATER.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS OR INSIDE A SCH. 40 SLEEVE.
- ALL HEADS SHALL BE INSTALLED A MINIMUM OF 24" FROM ANY WALL AND A MINIMUM OF 6" FROM ANY SIDEWALK, PATIO OR ROAD. (MINIMUM OF 2' WHERE THERE ARE NO SUPPER STOPS) THE EXACT HEIGHT OR ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE IN THE FIELD.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY THEIR WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP. (OR AS OUTLINED IN THE WRITTEN SPECIFICATIONS)
- ELECTRICAL SERVICE TO LOCATION OF THE CONTROLLER, WELL OR PUMP SHALL BE PROVIDED TO A JUNCTION BOX OR DISCONNECT AT THE EQUIPMENT LOCATION BY THE ELECTRICAL CONTRACTOR OR BY OWNER WHEN IT IS NOT PART OF THE BID PACKAGE. CONFIRM THE LOCATION OF THE CONTROLLER WITH THE OWNER OR GENERAL CONTRACTOR BEFORE ANY INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALE THE PLAN AND CHECK NOZZLE TYPES TO DETERMINE THE CORRECT SPACING OF THE HEADS. THE CONTRACTOR SHALL NOT SPACE THE HEADS FURTHER APART OR USE LESS HEADS THAN SHOWN ON THE PLAN. ANY CHANGES TO THE HEAD SPACING OR LAYOUT, WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER SHALL HOLD THE IRRIGATION CONTRACTOR RESPONSIBLE FOR WARRANTY OF THE PLANTS AND OR SOIL IN THESE AREAS.
- 48 HOURS BEFORE DIGGING, CALL 1-800-432-4170 (SUNSHINE STATE ONE CALL CENTER)

DRIP TUBING NOTES

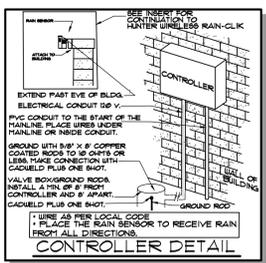
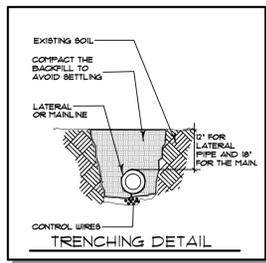
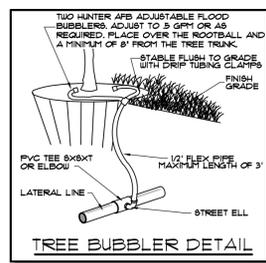
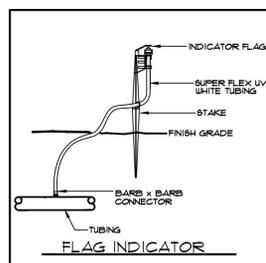
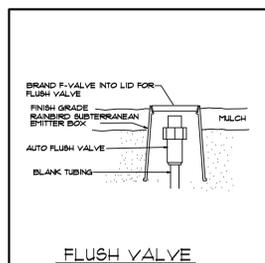
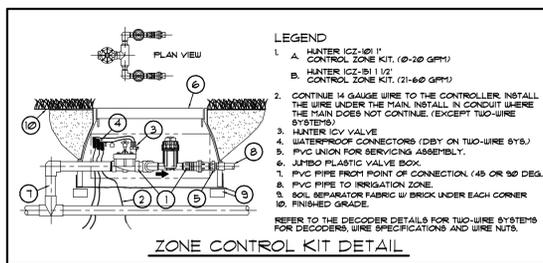
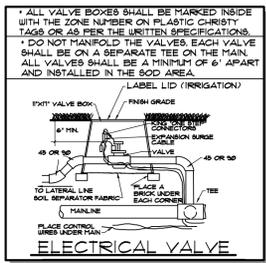
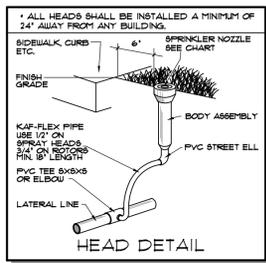
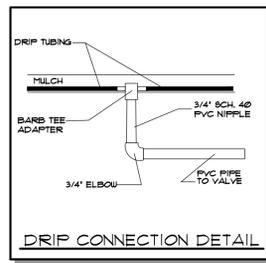
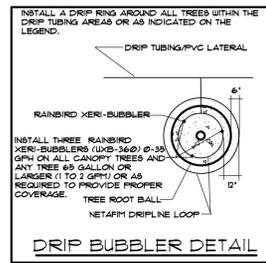
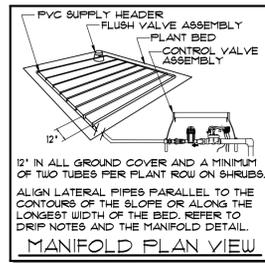
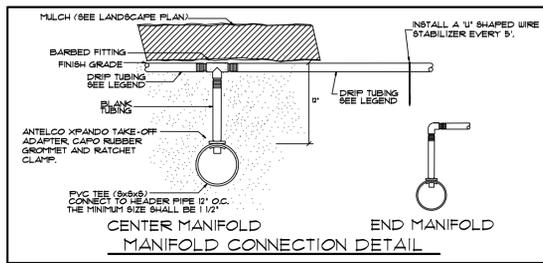
- INSTALL ALL DRIP TUBING AT GROUND LEVEL AFTER PLANT INSTALLATION. INSTALL NETAFIM T156 U SHAPED WIRE STABILIZERS A MIN OF 4" O.C. TO HOLD THE LINES IN PLACE.
- KEEP ALL DRIP LINE CLEAN AT ALL TIMES BEFORE THE FINAL CONNECTION. ALL TUBE ENDS SHALL BE INTERCONNECTED TO ALL OTHER DRIP TUBES. DO NOT DEAD END TUBING. SINGLE ROWS SHALL HAVE A END CAP AND NOT BENT OVER OR TAPED.
- AVOID SHARP BENDS IN THE TUBING. DO NOT BEND THE TUBING WITH LESS THAN A 12" RADIUS. THERE SHALL NOT BE ANY KINKS IN THE TUBING.
- ALL DRIP TUBING SHALL HAVE UNIFORM SPACING AND BURIAL DEPTH. THE PLAN DOES NOT ALWAYS REFLECT THE EXACT SPACING OR LAYOUT OF THE TUBING. LAY THE TUBING DOWN THE LONGEST WIDTH WHEN POSSIBLE. ADAPT THE TUBING TO CURVED BEDS OR PLANTERS AS REQUIRED. ADJUST AND ADAPT THE TUBING FOR ALL TREES. REFER TO THE TREE DRIP RING DETAIL.
- INSTALL DRIP TUBING TO ALL AREAS THAT SHALL RECEIVE PLANT MATERIAL.
- SEE THE LANDSCAPE PLAN FOR THE EXACT LOCATIONS. THERE SHALL BE A MINIMUM OF TWO ROWS OF TUBING ON A SINGLE ROW OF PLANTS.
- SPACE TUBING AS NOTED ON THE PLAN. DO NOT SHAKE TUBING BACK AND FORTH EXCEPT WHERE SHOWN ON THE PLAN. ALWAYS INSTALL A HEADER PIPE UNLESS THE TOTAL GALLONAGE OF AN AREA IS 3 GPM OR LESS.
- REFER TO THE MANUFACTURERS DRIP INSTALLATION MANUAL FOR INSTALLATION INSTRUCTIONS. ALL FITTINGS SHALL BE THE SAME TYPE AND MANUFACTURER AS THE DRIP TUBING.
- ALWAYS FLUSH ALL LINES BEFORE FINAL CONNECTION.
- INSTALL A "SYSTEM ON" INDICATOR FLAG ON EVERY ZONE WHERE IT IS SEEN FROM THE CONTROL VALVE.
- ALL MAINLINE SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OR AS INDICATED ON THE LEGEND.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING KING CONNECTORS AND SEALANT AND ALL WIRE SHALL BE 14 GAUGE EXCEPT AS DETAILED FOR TWO-WIRE SYSTEMS.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE THE LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS OF ANY DAMAGE CAUSED BY HIS WORK.
- INSTALL FLUSH VALVES WHERE SHOWN AT THE ENDS OF EACH RUN OF DRIP TUBING AND ONE FOR EVERY 15 GPM OF TUBING.
- CLEARLY AND NEATLY MARK THE TOP OF EACH VALVE BOX WITH THE TYPE OF EQUIPMENT THAT IT CONTAINS (I.E. VALVE, 3/4" VALVE, ETC.)
- THE DRIP ZONE VALVE ASSEMBLY SHALL BE PLACED INSIDE AN ARMOR JUMBO VALVE BOX. THE VALVE SHALL BE INSTALLED AS PER THE DETAIL ON THE PLANS.
- THE DRIP TUBING SHALL HAVE EMITTERS EVERY 12" AND SHALL BE SPACED 12" APART IN GROUND COVER BEDS AND A MINIMUM OF TWO ROWS FOR EACH ROW OF SHRUBS WHEN THE SHRUBS ARE SPACED FARTHER THAN 2' ON CENTER.
- REFER TO THE ZONE CONTROL KIT DETAIL FOR FILTER SIZES.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS/HER WORK WITH THE LANDSCAPE CONTRACTOR.

NOZZLE CHART

LETTER	PRODUCT SPEC.	G.P.M. @ 40PSI	RADIUS	RADIUS/ANGLE	ZONE LABELS
A	MP1000	1.21	13"	FULL CORNER 360°	1
B	MP CORNER	.45	14"	CORNER 105°	1
C	MP CORNER	.19	14"	CORNER 45°	1
D	MP1000	.74	19"	HALF 180°	1
E	MP1000	.40	19"	QUARTER 90°	1
G	MP STRIP	.22	5' X 15'	END STRIP	1
H	RAINBIRD SQ-H	.23	4.5'	HALF PATTERN	1
J	MP1000	.50	14"	THREE QTR. 270°	1
K	MP1000	.75	14"	FULL STRIP 360°	1
M	MP SIDE STRIP	.44	5' X 30'	QUARTER 90°	1
N	MP1000	.19	14"	HALF 180°	1
T	MP1000	.31	14"	QUARTER 90°	1
V	MP1000	.86	30"	HALF 180°	1
W	MP1000	1.82	30"	THREE QTR. 270°	1
X	MP1000	2.13	30"	THREE QTR. 270°	1
Y	MP1000	3.64	30"	FULL 360°	1
Z	MP1000	1.10	19"	THREE QTR. 270°	1



THE NOZZLES LISTED SHOW THE TYPE OF MP ROTATOR NOZZLE THAT SHOULD BE USED. THE CONTRACTOR SHOULD INSTALL THE MP1000, MP1000, MP1000 OR SPECIALTY NOZZLE IN EACH HEAD AS SHOWN BY THE LETTER BESIDE THE HEAD ON THE PLAN. THE GPM DISTANCE AND ANGLE ON THE NOZZLE CHART ARE APPROXIMATE. THE CONTRACTOR SHALL ADJUST ALL NOZZLES TO PROVIDE THE 100% COVERAGE, BUT LIMIT OVERTHROW ON TO BUILDINGS, WALLS, PAVEMENT, ETC. THE HEADS SHALL BE SPACED AS PER THE PLAN. SCALE THE PLAN FOR DISTANCE. DO NOT ASSUME THAT ALL HEADS ARE SPACED AS PER CONVENTIONAL SPRAY HEADS. THE PRECIPITATION RATE FOR THESE NOZZLES IS LESS THAN A CONVENTIONAL SPRAY NOZZLE. FOLLOW THE ZONE CHART FOR AN APPROXIMATE RUN TIME FOR EACH ZONE, BUT SET THE RUN TIME ON THE CONTROLLER BASED ON THE SPECIFIC SITE CONDITIONS.



60% CONSTRUCTION DOCUMENTS SUBMITTAL

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Bender & Associates
ARCHITECTS

Project # 1305

IRRIGATION
DETAILS

Date: 3/03/14

L-80

GENERAL NOTES

1. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS AND ADVISE THE ENGINEER OF ANY CONFLICTS OF REPRESENTATION BETWEEN DRAWINGS AND/OR SPECIFICATIONS PRIOR TO COMMENCING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING ANY WORK UNDER THIS CONTRACT AND NOTIFY THE ENGINEER IN WRITING OF ANY DIFFERENCES BEFORE COMMENCING WITH ANY CONSTRUCTION.
3. HORIZONTAL COORDINATES ARE BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM. VERTICAL ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
4. THE LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL ANTICIPATE THAT SCANNING AND EXCAVATION USING LIGHT EQUIPMENT AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGING THESE FACILITIES. THE CONTRACTOR SHALL CONTACT BELLSOUTH, THE LOCAL TELEPHONE COMPANY AND COMCAST, THE LOCAL CABLE TV PROVIDER TO VERIFY THE LOCATION OF BURIED TELEPHONE AND CABLE TV UTILITIES. NONE HAVE BEEN INDICATED ON THE DRAWINGS. CALL 1-800-432-4770 BEFORE DIGGING OR TRENCHING OPERATIONS BEGIN. CONTRACTOR SHALL ALSO CONTACT KEYS ENERGY TO LOCATE SECONDARY ELECTRIC LINES.
5. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD PRIOR TO INSTALLING ANY NEW WORK THAT CROSSES OR CONNECTS TO EXISTING UTILITY SYSTEMS. LOCATIONS OF NEW UTILITIES SHALL BE ADJUSTED IN A MANNER APPROVED BY THE ENGINEER TO AVOID CONFLICTS. DAMAGES TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
6. ALL EXCAVATION, TRENCHING, SHEETING, SHORING AND BRACING SHALL BE INSTALLED AS REQUIRED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS, INCLUDING OSHA (29 CFR 1926).
7. ALL ITEMS INDICATED TO BE REMOVED OR DEMOLISHED SHALL BE REVIEWED WITH THE OWNER TO DETERMINE IF THE ITEM IS TO BE PROPERTY OF THE CONTRACTOR. ALL ITEMS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, UNLESS OTHERWISE NOTED. NO SALVAGE VALUE IS EXPRESSED OR IMPLIED BY THESE CONTRACT DOCUMENTS FOR ANY ITEMS TO BE REMOVED OR DEMOLISHED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE CONTRACTOR'S EQUIPMENT, MATERIALS, AND PERSONNEL, AND SHALL PROVIDE ADEQUATE BARRIERS TO PREVENT RISK TO OTHERS FROM THE CONTRACTOR'S ACTIVITIES.
9. WHERE ACTUAL DIMENSIONS AND SIZES ARE PROVIDED IN THE DRAWINGS, THEY SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
10. THE CONTRACTOR SHALL SEQUENCE HIS OPERATIONS SUCH THAT ORANGE MESH SAFETY FENCING IS PROVIDED ALONG ALL AREAS BEING TRENCHED AND NO TRENCH IS LEFT OPEN AT THE END OF THE WORK DAY.
11. NO CONNECTIONS FOR THE PURPOSE OF OBTAINING WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE TO ANY FIRE HYDRANT OR BLOW-OFF STRUCTURE WITH OUT FIRST OBTAINING A CONSTRUCTION METER FROM THE FLORIDA KEYS AQUEDUCT AUTHORITY.
12. IF UNSATISFACTORY MATERIAL FOR ADEQUATE BEARING IS ENCOUNTERED AT THE NORMAL SUBGRADE, THE UNSATISFACTORY MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE FOUNDATION STABILIZATION MATERIAL AS SPECIFIED.
13. IN GENERAL, EXISTING STRUCTURES AND UTILITIES ARE NOTED AS EXISTING AND/OR SHOWN IN LIGHT LINE WEIGHT. NEW CONSTRUCTION IS SHOWN IN HEAVY LINE WEIGHT.
14. ALL FIELD LAYOUT AND SURVEYING FOR CONSTRUCTION OF THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR AT HIS EXPENSE, UNDER THE DIRECTION OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.

NEW CONSTRUCTION NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY DURING CONSTRUCTION OF NEW UTILITIES TO ANTICIPATE AND PLAN FOR CROSSINGS OF NEW AND EXISTING UTILITIES AND SUBSURFACE FEATURES. UTILITY LINES SHALL HAVE PRIORITIES AS FOLLOWS:
 - A. GRAVITY SANITARY SEWER LINES SHALL BE CONSTRUCTED TO GRADES AS INDICATED.
 - B. ANY GRAVITY UTILITY DISCOVERED TO CONFLICT WITH GRADES FOR NEW SANITARY SEWER LINES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER WITH POSSIBLE SOLUTIONS FOR HORIZONTAL AND VERTICAL ADJUSTMENT.
 - C. POTABLE WATER LINES, ELECTRICAL, COMMUNICATION, AND CABLE TV DISTRIBUTIONS WILL REQUIRE RELOCATION AS NECESSARY TO ACCOMMODATE NEW SANITARY SEWER LINES. THE CONTRACTOR SHALL DETERMINE, PRIOR TO INSTALLATION, THE METHOD BY WHICH THESE LINES SHALL BE REROUTED ABOVE OR BELOW NEW SANITARY SEWER LINES. THE CONTRACTOR SHALL REFER TO THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR SEPARATION REQUIREMENTS BETWEEN INDIVIDUAL UTILITY LINES, BOTH HORIZONTALLY AND THE CONTRACTOR SHALL INCLUDE IN THE VERTICALLY, AND SPECIAL TREATMENT REQUIREMENTS. BID PRICE ANY SPECIAL TREATMENT REQUIRED FOR UTILITY INSTALLATION, INCLUDING ADJUSTMENTS OF EXISTING UTILITIES.
2. NEW SLABS SHALL BE GRADED TO POSITIVELY DRAIN WITHOUT ANY STORMWATER PONDING.

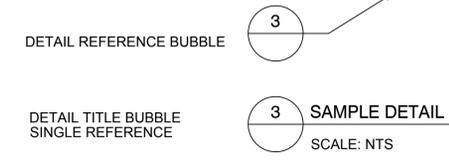
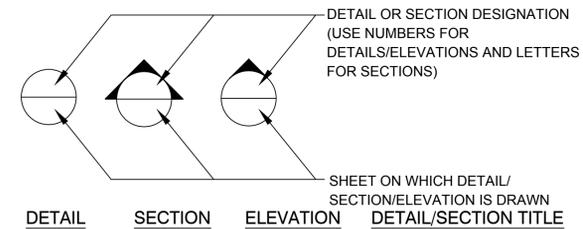
EROSION CONTROL NOTES

1. EROSION, SEDIMENT, AND TURBIDITY CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACES THROUGHOUT CONSTRUCTION AND UNTIL A STABLE SURFACE CONDITION EXISTS. THE CONTRACTOR SHALL MINIMIZE THE EXPOSED AREA AT ANY POINT DURING CONSTRUCTION AS MUCH AS PRACTICAL.
2. FILTER FABRIC SILT FENCE SHALL BE IN CONFORMANCE WITH SECTION 985, FDOT SPECIFICATION.
3. CONTRACTOR SHALL INSTALL EROSION CONTROLS NOTED ON DRAWINGS AND APPLICABLE PERMITS. EROSION CONTROLS SHALL BE MAINTAINED UNTIL A PERMANENT STAND OF GRASS IS PLANTED ONSITE.
4. BALED HAY OR STRAW BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH FDOT INDEX NO. 103.
5. SILT FENCE LOCATIONS SHOWN HEREON ARE FOR CLARITY ONLY AND SHOULD BE CONSTRUCTED WITHIN PROPERTY LINES.
6. PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED SILT FENCES AND HAY BALES ALONG THE PROPOSED LIMITS OF CONSTRUCTION AS INDICATED ON THE DRAWINGS. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OR WATER BODIES) AND OFF-SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURES DAILY UNTIL CONSTRUCTION ACCEPTANCE BY THE OWNER AND THEN REMOVE AND LEGALLY DISPOSE OF SAID MEASURES.
7. EROSION CONTROL SHALL MAINTAINED WITHIN CONSTRUCTION AREA BY QUICKLY STABILIZING DISTURBED AREA TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING GRASS COVER, HAY BALES AND OTHER MEANS ACCEPTABLE TO OWNER, ENGINEER AND REGULATORY AGENCIES.
8. DURING CONSTRUCTION, THE CONTRACTOR SHALL, AT THE REQUEST OF THE OWNER OR AS NECESSARY MODIFY, RELOCATE THE ENVIRO-FENCE AND/OR SILT FENCE TO ALLOW FOR ACCESS AND TO COMPLETE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AT ALL TIMES.
9. DURING CONSTRUCTION, THE CONTRACTOR WILL PROVIDE TEMPORARY SEEDING AND MULCHING FOR AREA THAT HAVE BEEN CLEARED AND NOT REWORKED WITHIN 7 CALENDAR DAYS DURING THE WET SEASON (APRIL THROUGH SEPTEMBER AND 14 CALENDAR DAYS DURING THE DRY SEASON (OCTOBER THROUGH MARCH). ALSO, ALL SIDE SLOPES SHALL BE SODDED OR SEEDED AND MULCHED WITHIN 7 DAYS DURING WET SEASON AND 14 DAYS DURING THE DRY SEASON.
10. ALL SURFACE WATER DISCHARGE FROM SITE, INCLUDING DEWATERING DISCHARGE SHALL MEET STATE WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATERS OF THE STATE INCLUDING WETLAND.
11. IN THE EVENT THAT THE EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THESE PLANS PROVE NOT TO BE EFFECTIVE, ALTERNATE METHODS FOR MAINTAINING STATE WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED. ANY ALTERNATE EROSION PREVENTION AND CONTROL DEVICES MUST BE APPROVED BY MONROE COUNTY AND SFWMD COMPLIANCE PERSONNEL PRIOR TO PLACEMENT.

LEGEND

GENERAL

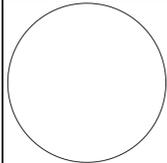
- RIGHT-OF-WAY AND/ OR PROPERTY LINE
- TL 1500 TAX LOT NUMBER
- ▲ CONTRACTOR'S SURVEY REFERENCE
- ⑤ KEY NOTE MARKER
- ⑨ (ON SITE PLAN) # OF PARKING SPACES



BUBBLE SYMBOLS

REVISIONS:

KEY WEST CITY HALL
AT GLYNN ARCHER
1300 WHITE STREET KEY WEST, FLORIDA
CITY OF KEY WEST



CIVIL ENGINEERING • REGULATORY PERMITTING
CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING
& DEVELOPMENT, INC.

Certificate of Authorization No. 8579

Key West Office
1010 EAST MONROE FLORIDA 33040
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ARCHITECTS
p.c.

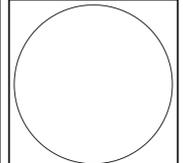
Project No. 1305
GENERAL NOTES
Date: 3/3/14

C-1

60% CONSTRUCTION DOCUMENTS SUBMITTAL

REVISIONS:

**KEY WEST CITY HALL
AT GLYNN ARCHER**
1300 WHITE STREET KEY WEST, FLORIDA
CITY OF KEY WEST



CIVIL ENGINEERING - REGULATORY PERMITTING
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**Perez Engineering
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Bender & Associates
ARCHITECTS p.a.

Project No. 1305
CIVIL
SITE PLAN
Date: 3/3/14

60% CONSTRUCTION DOCUMENTS SUBMITTAL
C-2



30' 0 30'
SCALE 1"=30'
BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF
NOT TWO INCHES ON THIS SHEET ADJUST
SCALES ACCORDINGLY

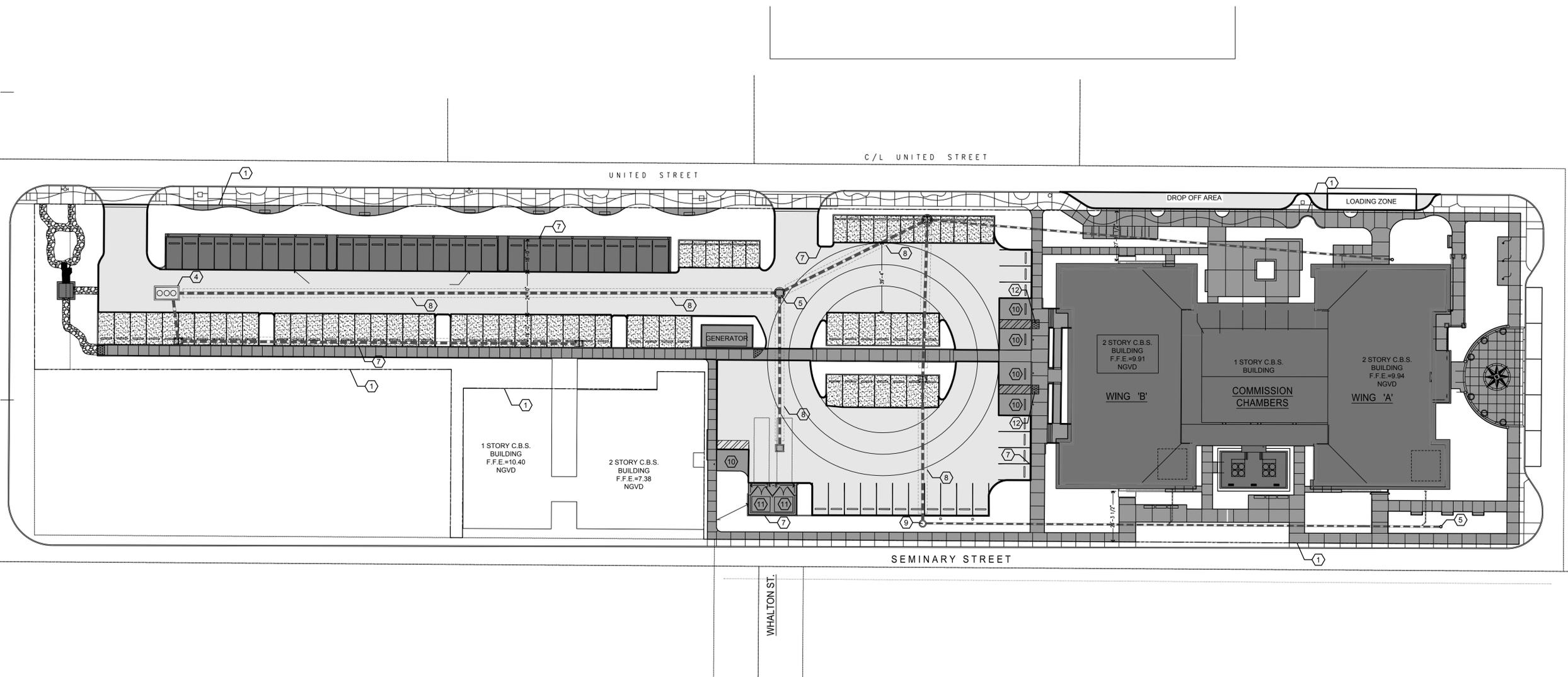
SITE PLAN KEY NOTES

- ① PROJECT LIMITS
- ② ASPHALT PAVEMENT (NEW)
- ③ CONCRETE SIDEWALK
- ④ TRIPLE CHAMBER BAFFLE BOX W/ WELL
- ⑤ STORMWATER INLET (FDOT TYPE), TYP. (SEE CIVIL SHEET FOR COORDINATION)
- ⑥ STORMWATER STRUCTURE
- ⑦ 6" TYPE 'D' CURB
- ⑧ EXFILTRATION TRENCH
- ⑨ STORMWATER MANHOLE, TYP.
- ⑩ HANDICAP PARKING
- ⑪ TRASH / RECYCLE
- ⑫ DETECTABLE WARNING

LEGEND

- PROJECT LIMITS
- ASPHALT PAVEMENT
- SIDEWALK
- ROOF AREA
- PERVIOUS PAVERS
- KEY NOTE MARKER

NOTE: SYMBOLS IN LEGEND ARE NOT TO SCALE



Water Quantity Calculations - 25yr/72hr Design Storm

Water Quantity - Predevelopment

Project Area	A = 2.776	ac	120,909	sf
Pervious Area	0.563	ac	24,521	sf
Impervious Area	2.213	ac	96,388	sf
% Impervious	79.72%			
Rainfall for 25yr/24hr event	P ₂₄ = 9	in		
Rainfall for 25yr/3day event	P ₇₂ = 12.23	in		
Depth to Water Table	4	ft		
Predeveloped Available Storage	8.18	in		
Soil Storage	S = 1.66	in		
Q _{pre} = (P ₇₂ - 0.2S) ² / (P ₇₂ + 0.8S)	Q _{pre} = 10.44	in		
Runoff Volume from 25 year/ 3 day storm	V _{25yr/72hr} = 28.99	ac-in		

Water Quantity - Postdevelopment

Project Area	A = 2.776	ac	120,909	sf
Pervious Area	0.728	ac	31,718	sf
Impervious Area	2.048	ac	89,191	sf
% Impervious	73.8%			
Rainfall for 25yr/24hr event	P ₂₄ = 9	in		
Rainfall for 25yr/3day event	P ₇₂ = 12.23	in		
Depth to Water Table	4	ft		
Developed Available Storage	8.18	in		
Soil Storage	S = 2.15	in		
Q _{post} = (P ₂₄ - 0.2S) ² / (P ₂₄ + 0.8S)	Q _{post} = 9.89	in		
Runoff Volume from 25 year/ 3 day storm	V _{25yr/72hr} = 27.72	ac-in		

Postdevelopment - Predevelopment

Q _{pre-post} = Q _{post} - Q _{pre}	Q _{pre-post} = -0.46	in		
Pre/Post Volume = Q _{pre-post} X A	V _{pre-post} = -1.27	ac-in		

Water Quality Calculations - 25yr/72hr Design Storm

Water Quality

Project Area	2.776	ac	120,909	sf
Surface Water	0.000	ac	0	sf
Roof Area	0.704	ac	30,875	sf
Pavement/Walkways	1.343	ac	58,516	sf
Pervious area	0.728	ac	31,718	sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)	1.343	ac	58,516	sf
% Impervious	48%			
A) One inch of runoff from project area	2.776	ac-in		
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))	3.358	ac-in		

Comparison of Water Quality Methods

2.776	<	3.358
ac-in		ac-in

Exfiltration Trench Design

Required trench length (L) =

$$L = \frac{V}{K \left(\frac{H^2}{2} + 2H^2Ds \right) + 1.39 \times 10^{-4} (W)(Du)}$$

Hydraulic Conductivity, K = 0.0000145

H = 6 ft
W = 5 ft
Du = 4.5 ft
Ds = 2.5 ft
Volume of Trench, V = 3.358 ac-in

Trench Length Required = 748 FT
Trench Length Provided = 862 FT

LEED SSc6.1 Drainage Calculations - 2yr/24hr Design Storm

Water Quantity - Predevelopment

Project Area	A = 2.776	ac	120,909	sf
Pervious Area	0.563	ac	24,521	sf
Impervious Area	2.213	ac	96,388	sf
% Impervious	79.72%			
Rainfall for 2yr/24hr event	P ₂₄ = 5	in		
Depth to Water Table	4	ft		
Predeveloped Available Storage	8.18	in		
Soil Storage	S = 1.66	in		
Q _{pre} = (P ₂₄ - 0.2S) ² / (P ₂₄ + 0.8S)	Q _{pre} = 3.44	in		

Water Quantity - Postdevelopment

Project Area	A = 2.776	ac	120,909	sf
Pervious Area	0.728	ac	31,718	sf
Impervious Area	2.048	ac	89,191	sf
% Impervious	73.8%			
Rainfall for 2yr/24hr event	P ₂₄ = 5	in		
Depth to Water Table	4	ft		
Developed Available Storage	8.18	in		
Soil Storage	S = 2.15	in		
Q _{post} = (P ₂₄ - 0.2S) ² / (P ₂₄ + 0.8S)	Q _{post} = 3.11	in		

Predevelopment Offsite Runoff

Runoff Volume = (Area)(Q_{pre}) = (2.776 ac)(3.44 in) = 9.56 ac-in 34703.2 cf

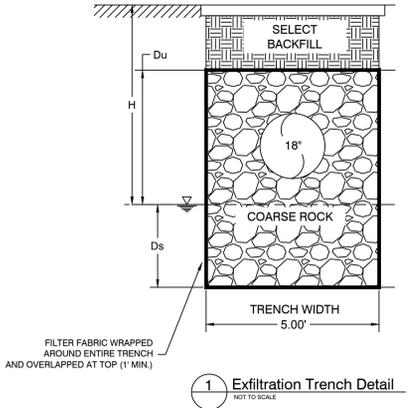
Postdevelopment Offsite Runoff

Runoff Volume = (Area)(Q_{post}) = (0.1833 ac)(3.11 in) = 0.57 ac-in 2070.1 cf

LEED SSc6.2 Quality Calculations

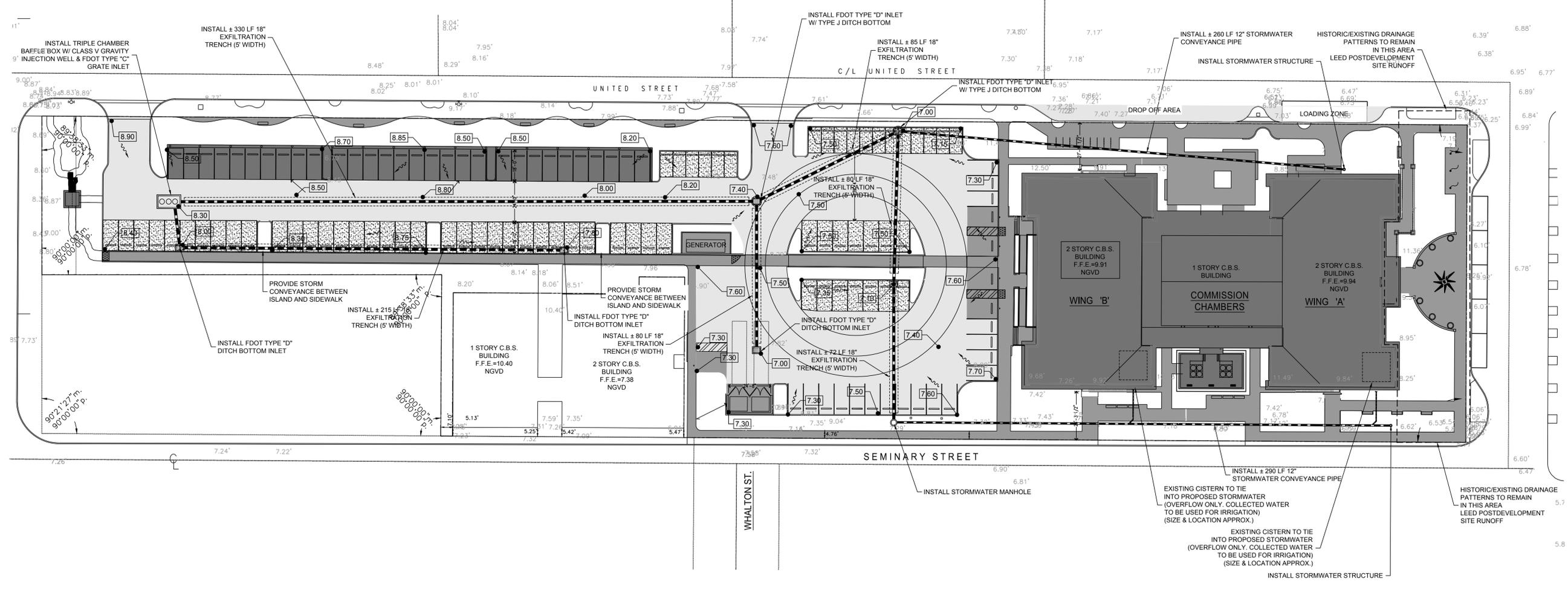
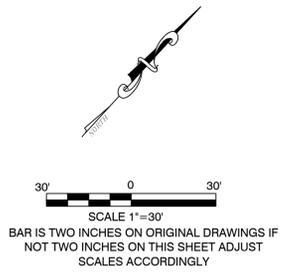
Best Management Practice (BMP)	Description of BMP's Contribution to Stormwater Filtration	Percentage of Annual Rainfall Volume Treated by BMP
Landscape Area	Landscape areas comprised of sod and native vegetation will receive approximately 25.4% of the average rain fall event. These pervious areas will be comprised of ground cover and small plantings (100% TSS Removal from 25.4% of site runoff)	25.4
Pervious Pavers	Pervious pavers for the parking areas that will receive pollution from vehicles will be utilized to promote more TSS removal than if asphalt were used in these areas (90% TSS Removal from 8.1% of site runoff)	8.1
Exfiltration Trench	Runoff collected from roof areas by gutter/downspout systems and collected from hardscapes (concrete, asphalt) via structural means will be discharged into exfiltration trenches (75% TSS Removal from 65.6% of site runoff)	65.6

- ### DRAINAGE NOTES:
- THE SURFACE WATER MANGEMENT IS DESIGNED FOR THE 25YR / 72 HR STORM EVENT.
 - ALL GUTTER / DOWNSPOUTS / BUILDING DISCHARGE LOCATIONS SHALL DISCHARGE INTO THE DEVELOPED STORMWATER MANAGEMENT SYSTEM.
 - HARDSCAPE MATERIALS ARE SHOWN FOR LOCATION REFERENCE ONLY, SEE ARCH. DWGS FOR COORDINATION.



2yr-24hr Storm Event

Pre-Development Site Runoff Quantity (cf)	34,703
Post-Development Site Runoff Quantity (cf)	2,070
Reduction in Post-Development Site Runoff Quantity (%)	94.03%



REVISIONS:

**KEY WEST CITY HALL
AT GLYNN ARCHER**

1300 WHITE STREET KEY WEST, FLORIDA
CITY OF KEY WEST

60% CONSTRUCTION DOCUMENTS SUBMITTAL

**Bender & Associates
ARCHITECTS**

Project N° 1305
DRAINAGE & GRADING PLAN
Date: 3/3/14

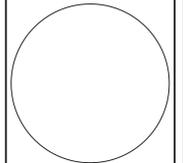
C-3

PEREZ ENGINEERING & DEVELOPMENT, INC.
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TEL: (305) 296-2222 FAX: (305) 296-0243

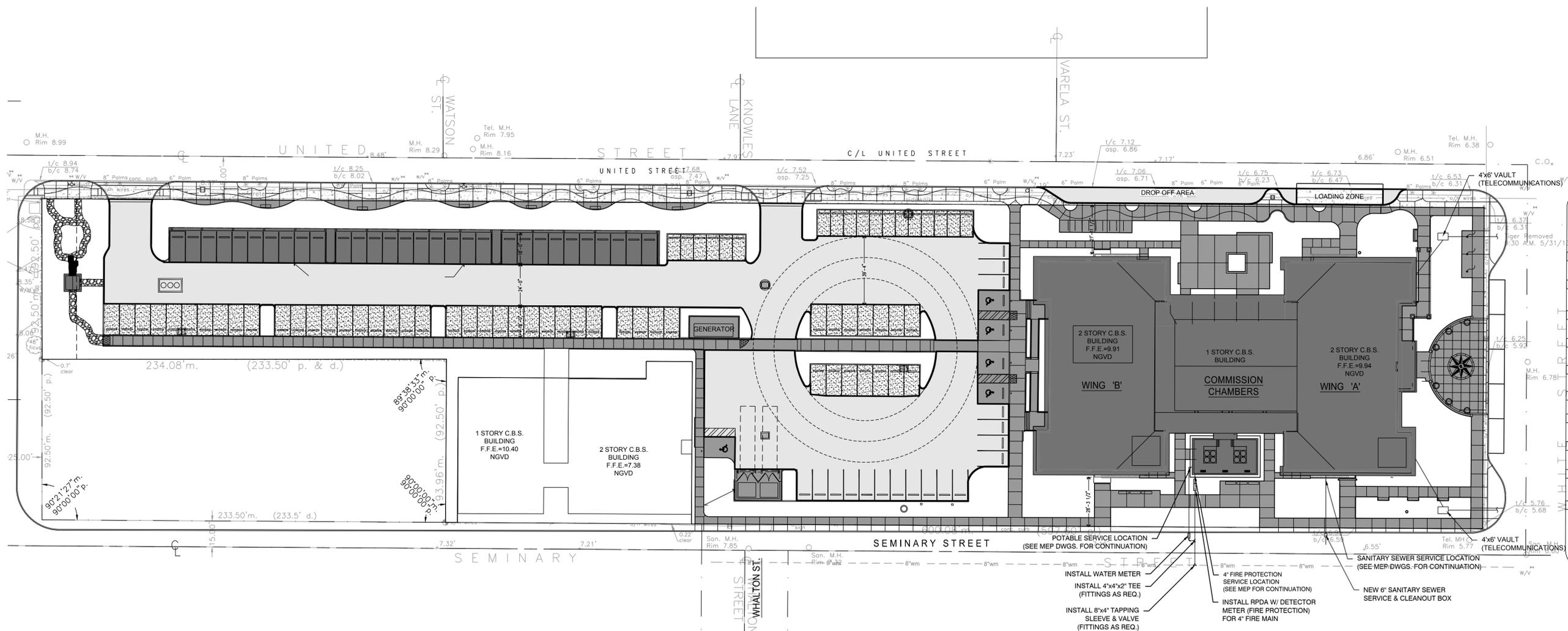
410 Angela Street
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CITY OF KEY WEST



SCALE 1"=30'
BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF NOT TWO INCHES ON THIS SHEET ADJUST SCALES ACCORDINGLY



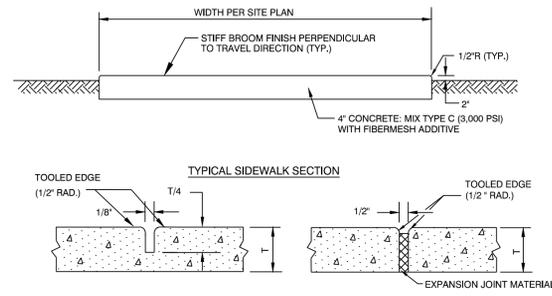
CIVIL ENGINEERING • REGULATORY PERMITTING
CONSTRUCTION MANAGEMENT
Perez Engineering & Development, Inc.
CERTIFICATE OF AUTHORIZATION NO. 8879
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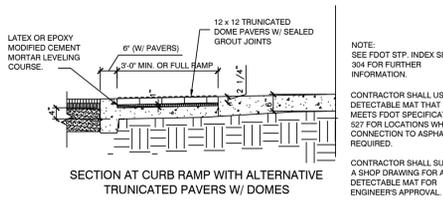
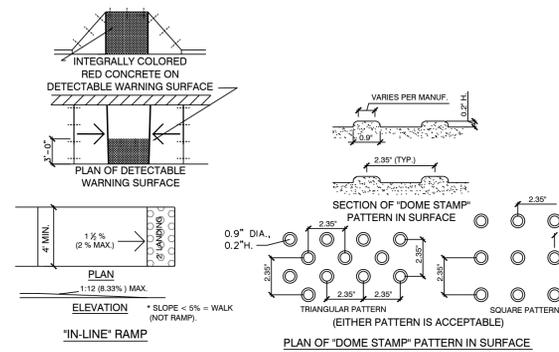
Project N^o 1305
UTILITY PLAN
Date: 3/3/14

60% CONSTRUCTION DOCUMENTS SUBMITTAL
C-4

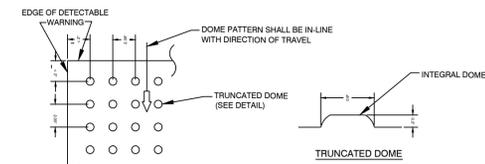


- CONTRACTION JOINT**
- EXPANSION JOINT**
- NOTES:**
1. PROVIDE EXPANSION JOINTS WHERE NEW SIDEWALKS ABUT STRUCTURES AND CONTRACTION JOINTS AT INTERVALS EQUAL TO SIDEWALK WIDTH.
 2. REPLACE CONCRETE SIDEWALKS AT SCORED JOINTS TO AVOID A PATCHED APPEARANCE. PROVIDE A 2" LEVELING COURSE BENEATH NEW SIDEWALK.

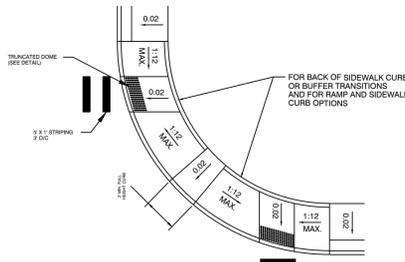
1 Typical Sidewalk Detail
C-5 NTS



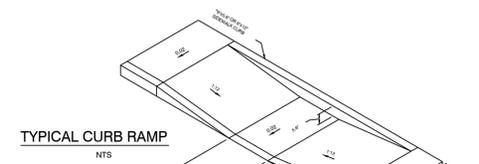
2 Curb Ramp and Other Ramps
C-5 NTS



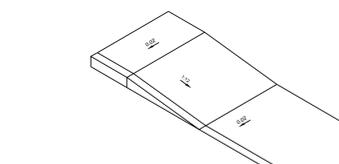
3 CURB RAMP DETECTABLE WARNING
NTS



4 TYPICAL PLACEMENT OF SIDEWALK CURB RAMP AT CURBED RETURNS
NTS



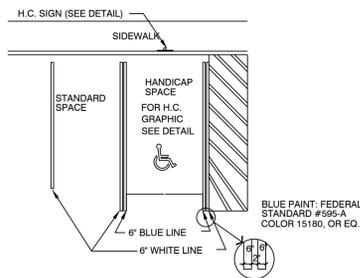
5 TYPICAL CURB RAMP
NTS



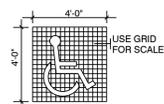
6 TYPICAL S/W TO DRIVEWAY TRANSITION
NTS

- GENERAL NOTE:**
1. CURB RAMP RUNNING SLOPES AT UNRESTRAINED SITES SHALL NOT BE STEEPER THAN 1:12 AND CROSS SLOPE SHALL BE 0:02 OR FLATTER. TRANSITION SLOPES SHALL NOT BE STEEPER THAN 1:12.
 2. CURB RAMP DETECTABLE WARNING SURFACES SHALL EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24" FROM THE BACK OF CURB. DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING A TRUNCATED DOME PATTERN IN CONFORMANCE WITH U.S. DEPARTMENT OF JUSTICE A.D.A. STANDARDS FOR ACCESSIBLE DESIGN, A.D.A. ACCESSIBILITY GUIDELINES, SECTION 4.29.2. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.
 3. UNLESS OTHERWISE CALLED OUT IN THE PLANS, THE RAMP DETECTABLE WARNING SURFACE SHALL BE COLORED IN ACCORDANCE WITH FOOT SECTION 351 OF THE STANDARD SPECIFICATIONS.
 4. WHERE A CURB RAMP IS CONSTRUCTED WITHIN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB OR CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB AND GUTTER IS LESS THAN 8' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE OR WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 8' LONG.
- DESIGN NOTE:**
1. THE COLOR REQUIREMENT IN GENERAL NOTE 3 IS TO PROVIDE A DARK-ON-LIGHT VISUAL CONTRAST BETWEEN THE DETECTABLE WARNING SURFACE AND THE ADJACENT WALKING SURFACE. WHERE ADJACENT WALKING SURFACES ARE COLORED OR ARE CONSTRUCTED WITH MATERIALS OTHER THAN STANDARD CLASS 1 PORTLAND CEMENT CONCRETE IN ACCORDANCE WITH SECTION 522 OF THE STANDARD SPECIFICATIONS, THE PLANS MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLOR OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT OR LIGHT-ON-DARK.

3 Sidewalk Transition Detail
C-5 NTS



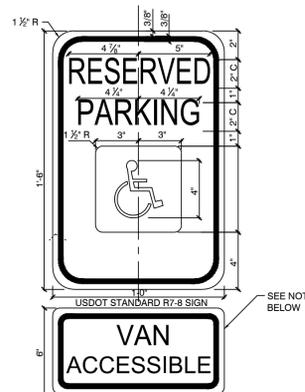
4 Handicap Parking Details
C-5 NTS



- NOTES:**
1. ALL LETTERS ARE 1" SERIES 'C'.
 2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND & BORDER.

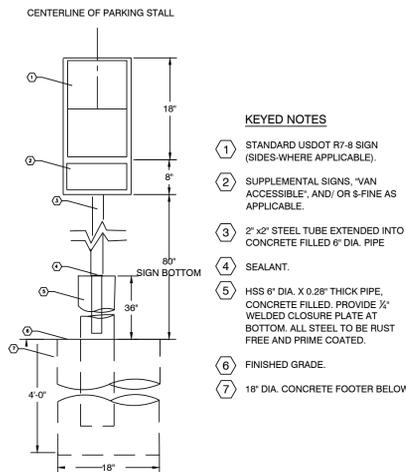
BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER.

5 Handicap Graphic Details
C-5 NTS

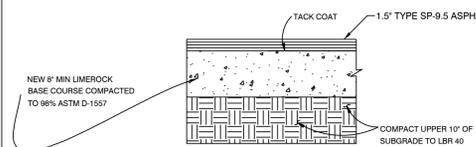


NOTE (R7-8 SIGN): THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A 'VAN ACCESSIBLE' SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE, CONFIRM WITH LOCAL REGULATIONS.

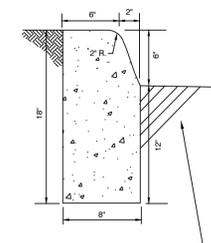
6 Accessibility Signage
C-5 NTS



7 Accessible Parking Sign and Post
C-5 NTS



8 Asphalt Pavement
C-5 NTS



9 FDOT Type "D" Curb
C-5 NTS

REVISIONS:

**KEY WEST CITY HALL
AT GLYNN ARCHER**

1300 WHITE STREET KEY WEST, FLORIDA
CITY OF KEY WEST

CIVIL ENGINEERING & REGULATORY PERMITTING
CONSTRUCTION MANAGEMENT

Perez ENGINEERING
& DEVELOPMENT, INC.
CERTIFICATE OF AUTHORIZATION No. 8879

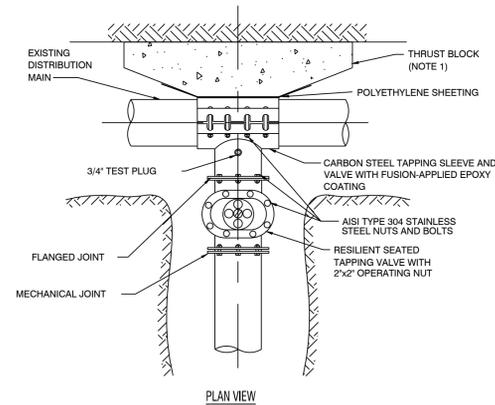
410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AC002022

Bender & Associates
ARCHITECTS

Project No. 1305
CIVIL DETAILS
Date: 3/3/14

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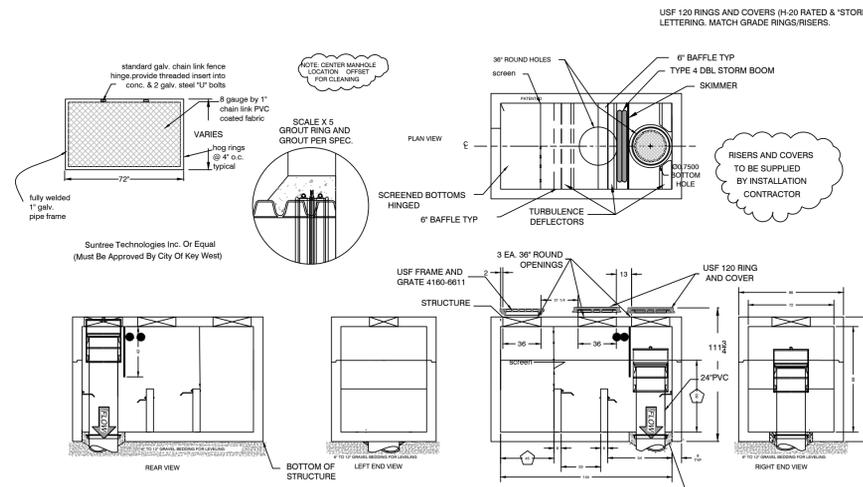
C-6



NOTES:

1. SIZE THRUST BLOCK IN ACCORDANCE WITH FKA STANDARD DETAIL DRAWING No. 4.
2. PRESSURE TEST INSTALLED TAPPING SLEEVE AND VALVE ASSEMBLY BEFORE TAPPING EXISTING MAIN. SEE FKA MINIMUM CONSTRUCTION STANDARDS AND SPECIFICATIONS.
3. SEE FKA MINIMUM CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR LIST OF APPROVED TAPPING SLEEVES AND VALVES.
4. ALL TAPS SHALL BE MADE WITH AN APPROVED TAPPING DEVICE.

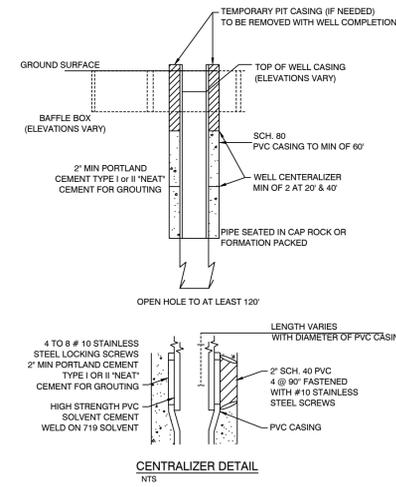
1 Tapping Sleeve and Valve for Distribution Main
NTS



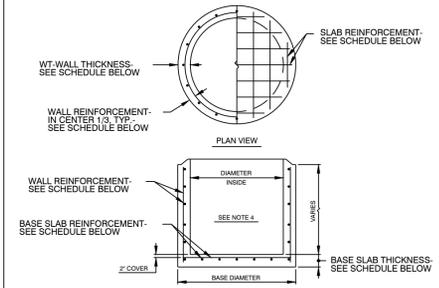
NOTES:

1. CONCRETE 28 DAY COMPRESSIVE STRENGTH $f_c = 5,000$ PSI.
2. REINFORCING: ASTM A-615, GRADE 60.
3. SUPPORTS AN H20 LOADING AS INDICATED BY AASHTO.
4. JOINT SEALANT: BUTYL RUBBER SS-S-00210
5. ALL WALLS, TOP + BOTTOM ARE 8\"/>

2 Typical Triple Chamber Baffle Box with Injection Well (Gravity)
NTS



3 Stormwater Injection Well (Gravity)
NTS

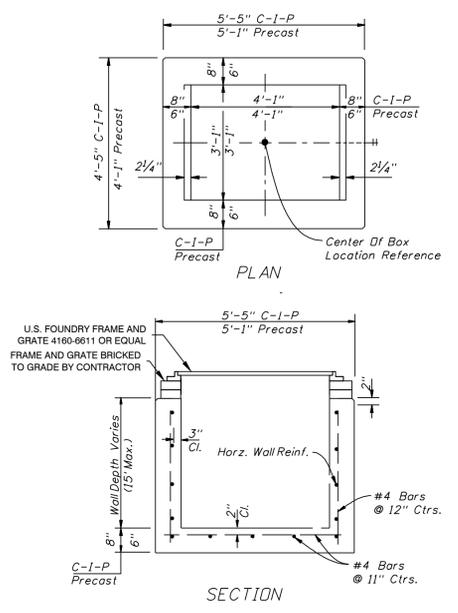


SCHEDULE

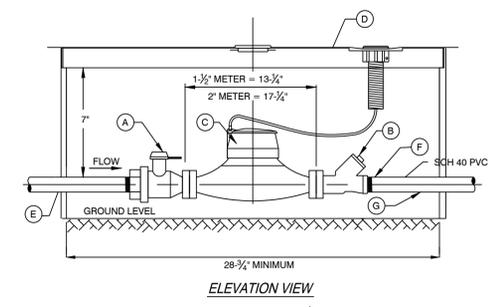
DIAMETER INSIDE	BASE DIAMETER	WT. WALL THICKNESS	WALL REINFORCEMENT	BASE SLAB THICKNESS	BASE SLAB REINFORCEMENT
6"	8 1/2"	8"	#4 @ 12\"/>		

- NOTES:**
1. FOR GENERAL NOTES, SEE STANDARD DETAIL STORM STRUCTURE NOTES.
 2. WALL REINFORCEMENT MAY BE WELDED WIRE AS PER ASTM C-478.
 3. MAXIMUM SIZE ALLOWED FOR TYPE I MANHOLE.
 4. ADD 2 #4 REINFORCING BARS AT 3\"/>

4 Type I and II Manhole Base and Wall Detail
NTS



6 FDOT Type "D" Ditch Bottom Inlet
NTS



- A =** FORD LOCKABLE METER STOP OR APPROVED EQUAL: 1 1/2\"/>

B = FKA APPROVED DUAL CHECK VALVE: MUELLER No. H-14242

C = SEALED REGISTER WATER METER

D = MID-STATES PLASTICS MODEL #MSBCF1730-12 OR APPROVED EQUAL

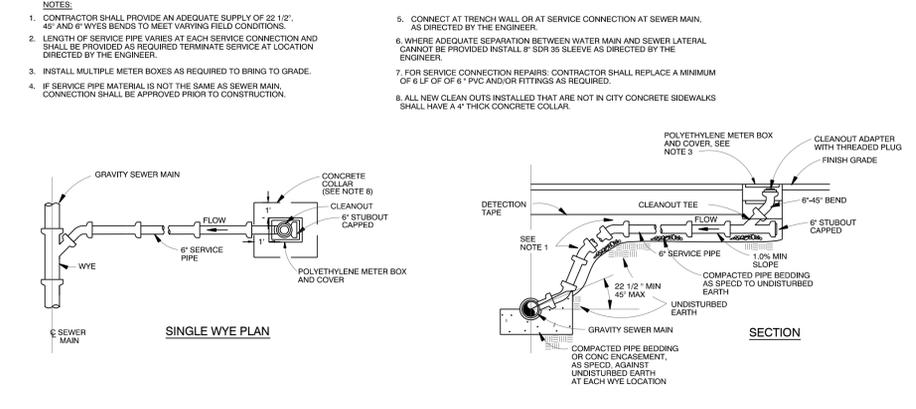
E = 2\"/>

F = CUSTOMER TIE-IN POINT

G = CUSTOMER FURNISHED PIPING/TUBING

NOTE:
MINIMUM DISTANCES BETWEEN METER INLETS/OUTLETS AND THE CLOSEST FITTINGS SHALL BE MAINTAINED PER METER MANUFACTURERS REQUIREMENTS.

7 1.5\"/>



8 Typical Sewer Service Connection Detail
NTS

REVISIONS:

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CITY OF KEY WEST

CIVIL ENGINEERING + REGULATORY PERMITTING
CONSTRUCTION MANAGEMENT

**PEREZ ENGINEERING
& DEVELOPMENT, INC.**
CERTIFICATE OF AUTHORIZATION No. 8879

KEY WEST OFFICE
1010 EAST PALM BEACH AVENUE SUITE 201
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Facsimile (305) 296-2727
Florida License AC002022

**Bender & Associates
ARCHITECTS** p.a.

Project No. 1305

CIVIL DETAILS

Date: 3/3/14

C-7

60% CONSTRUCTION DOCUMENTS SUBMITTAL

SITE DATA TABLE

	CODE REQUIREMENT	EXISTING	PROPOSED	VARIANCE REQUEST	NOTES
ZONING	HPS				
FLOOD ZONE	ZONE X				
SIZE OF SITE	120,909 S.F. (2.77 ACRES)				
HEIGHT	25' MAX.	46.7' (53.9' - 7.2')	NO CHANGE	YES	HIGHEST TOP OF PEDIMENT +53.9'. CROWN OF ROAD +7.2
FRONT SETBACK	20'	41.2'	41.2'		
SIDE SETBACK	5' OR 10% OF WIDTH TO 15'	15% OF 92.5' = 13.87'	14.5' (SOUTH PL. TO GENERATOR)		
STREET SIDE SETBACK	10'	28.29' (SOUTH), 27.29' (NORTH)	28.29' (SOUTH), 27.29' (NORTH)		
REAR SETBACK	20'	442.41'	573.58'		
F.A.R.	1.0 MAX.	57,967 / 120,909 = 48%	57,051 / 120,909 = 47%		
BUILDING COVERAGE	40% MAXIMUM	43,117 / 120,909 = 35.6%	24,784 / 120,909 = 20.5%		
IMPERVIOUS SURFACE	50% MAXIMUM	92,658 / 120,909 = 76.6%	74,792 / 120,909 = 61.9%	YES	75,121 / 120,909 = 62.1% WITHOUT PARKING SHELTERS
PARKING	37061 / 300 = 124 SPACES	30 SPACES	124 SPACES		
HANDICAP PARKING	5 SPACES	0 SPACES	5 SPACES		
BICYCLE PARKING	32 SPACES	0 SPACES	32 SPACES		
OPEN SPACE / LANDSCAPING	20% MINIMUM	28,251 / 120,909 = 23.3%	41,117 / 120,909 = 34.2%		
NUMBER & TYPE OF UNITS					
CONSUMPTION AREAS					

PARKING SPACE COUNT:

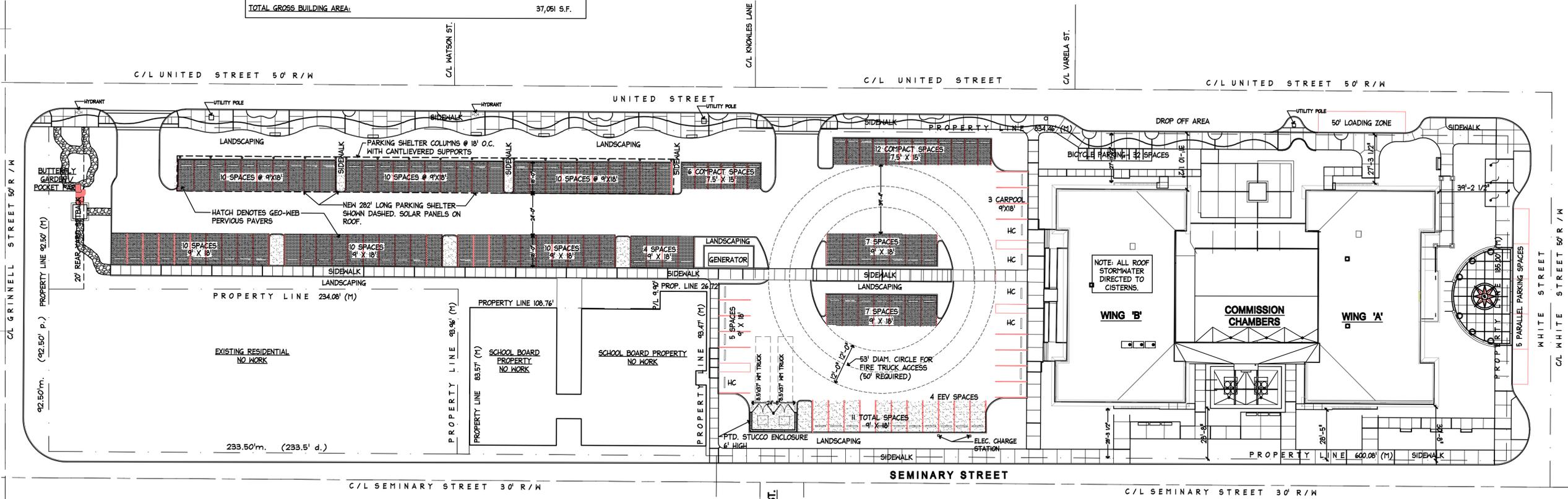
REGULAR (9' X 18') PARKING SPACES:	97 SPACES
COMPACT (7.5' X 15') PARKING SPACES:	18 SPACES
ACCESSIBLE (12' X 18') PARKING SPACES:	5 SPACES
EVV PARKING SPACES:	4 SPACES
TOTAL PARKING SPACES:	124 SPACES

GROSS FLOOR AREA (MEASURED TO INSIDE OF EXTERIOR WALLS):

FIRST FLOOR BUILDING A + AUDITORIUM:	10,741 S.F.
FIRST FLOOR AUDITORIUM COVERED EXTERIOR WALKWAYS:	2,192 S.F.
FIRST FLOOR FRONT PORCH:	284 S.F.
FIRST FLOOR MECHANICAL ROOM:	538 S.F.
FIRST FLOOR BUILDING B:	7,602 S.F.
SECOND FLOOR BUILDING A:	7,262 S.F.
SECOND FLOOR COVERED INTERIOR WALKWAY:	830 S.F.
SECOND FLOOR BUILDING B:	7,602 S.F.
TOTAL GROSS BUILDING AREA:	57,061 S.F.

LEGAL DESCRIPTION (FROM 6/8/98 SURVEY FROM ISLAND SURVEYING, CORRECTED TO 7/12/13.)

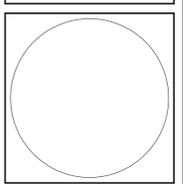
LEGAL DESCRIPTION:
 On the Island of Key West, Monroe County, Florida and being a part of Tract 18, according to William A. Whitehead's map delineated in February, 1829, but better known as Lots 1, 2, 3, 4, 9, 10, 13, 14, 17, 18, 21, 22, 25, 26, 29, 30, 31, & 32, Square 1 and Lots 1, 2, 3, 4, 9, 10, & 13, Square 2, Tract 18, "GEORGE W. NICHOLS SUBDIVISION", according to the plat thereof, as recorded in Plat Book 1, at page 42 of the Public Records of Monroe County, Florida.
 AND
 On the Island of Key West, Monroe County, Florida and being a part of Tract 18, according to William A. Whitehead's map delineated in February, 1829, but better known as Lots 1, 2, 3, & 4, Square 3, "DIAGRAM OF THE WEBB REALTY COMPANY, of part of Tract 18", according to the plat thereof, as recorded in Plat Book 1, at page 42 of the Public Records of Monroe County, Florida.
 AND
 Whelton Street, being 60 feet wide lying between United and Seminary Streets.
 LESS OUT (Gym and Arts Bldg.):
 On the Island of Key West, Monroe County, Florida and being a part of Tract 18, according to William A. Whitehead's map delineated in February, 1829, but better known as Lots 3, 4, & 9, Square 2, Tract 18, "GEORGE W. NICHOLS SUBDIVISION", according to the plat thereof, as recorded in Plat Book 1, at page 42 of the Public Records of Monroe County, Florida, and being more particularly described as follows:
 Commence at the intersection of the Northeastery Right-of-Way Line of Grinnell Street and the Northwestery Right-of-Way Line of Seminary Street; thence in a Northeastery direction along the said Northeastery Right-of-Way Line of Seminary Street for a distance of 240.32 feet to the Point of Beginning; thence at a right angle and in a Northwestery direction for a distance of 83.57 feet; thence at a right angle and in a Northeastery direction for a distance of 108.78 feet; thence at a right angle and in a Northwestery direction for a distance of 9.50 feet; thence at a right angle and in a Northeastery direction for a distance of 28.72 feet; thence at a right angle and in a Southeastery direction for a distance of 93.47 feet to the said Northwestery Right-of-Way Line of Seminary Street; thence at a right angle and in a Southwestery direction along the said Northwestery Right-of-Way Line of Seminary Street for a distance of 135.48 feet to the Point of Beginning.
 Containing 11,586.59 square feet, more or less.



1 ARCHITECTURAL SITEPLAN
 A1.1 1" = 30'-0"

REVISIONS:

**KEY WEST CITY HALL
 AT GYNN ARCHER**
 1300 WHITE STREET KEY WEST, FLORIDA
 CITY OF KEY WEST



MCHARRY ASSOCIATES
 ARCHITECTURE / ENGINEERING / INTERIORS
 AAC000784 EB0003663
 2780 SW DOWGLAS ROAD, SUITE 502
 MIAMI, FLORIDA 33133 (305) 445-3765
 WWW.MCHARRY.COM

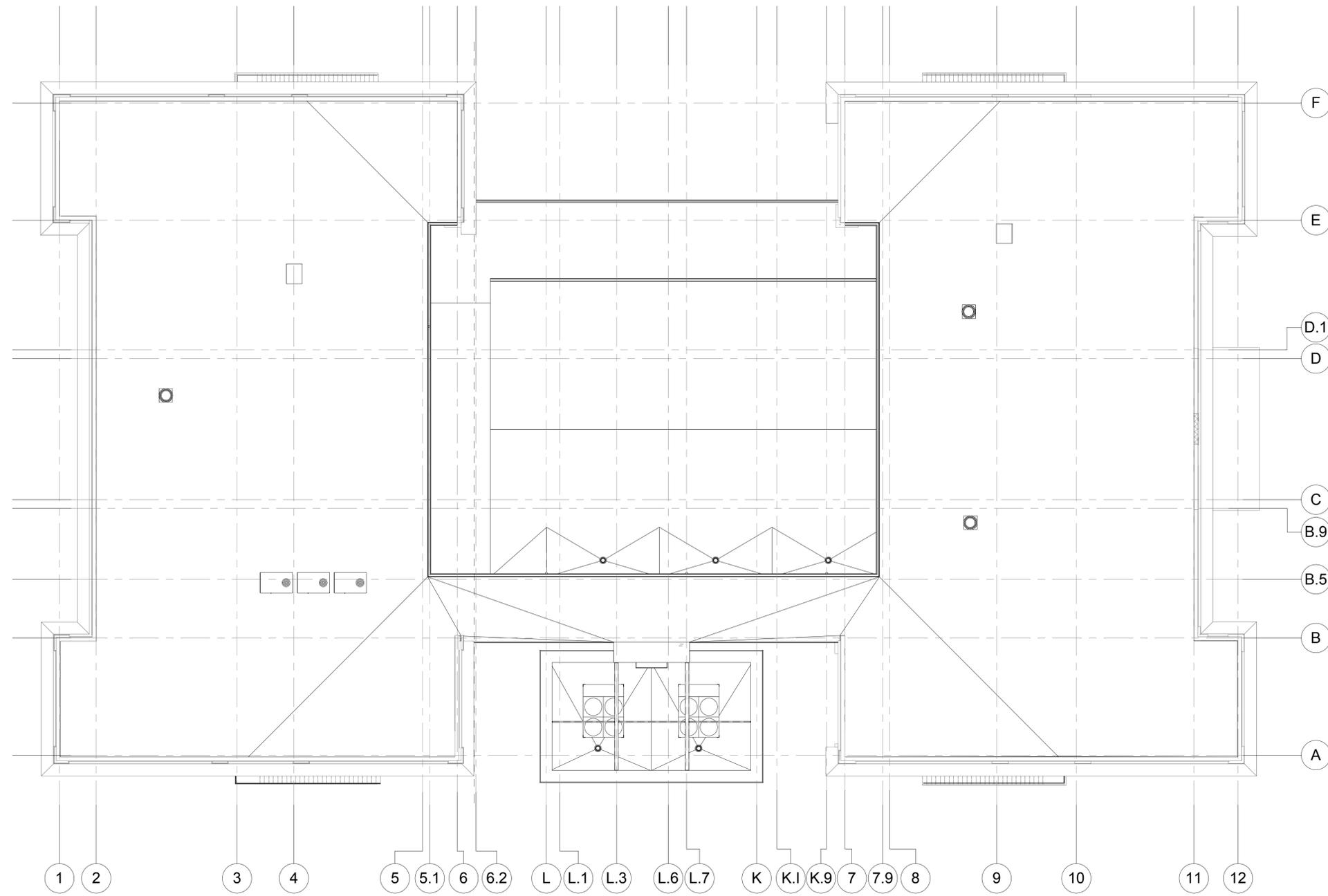
410 Angela Street
 Key West, Florida 33040
 Telephone (305) 296-1347
 Facsimile (305) 296-2727
 Florida License AAC002022

Bender & Associates
ARCHITECTS p.c.

Project No: 1305
 PROPOSED ARCHITECTURAL SITEPLAN
 Date: 3/3/14

A1.1
 OF

60% CONSTRUCTION DOCUMENTS SUBMITTAL



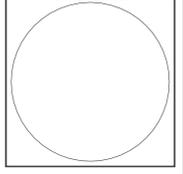
1 OVERALL ROOF PLAN
 A3.1 3/32" = 1'-0"



REVISIONS

--	--

**KEY WEST CITY HALL
 AT GLYNN ARCHER**
 PHASE 2
 1300 WHITE STREET KEY WEST, FLORIDA
 CITY OF KEY WEST



MCHARRY ASSOCIATES
 ARCHITECTURE / INTERIORS / INTERIORS

AAC000956 EB0003643

2780 SW DOUGLAS ROAD, SUITE 302
 MAAMI, FLORIDA 33135 (305) 875-3755
 WWW.MCHARRY.COM

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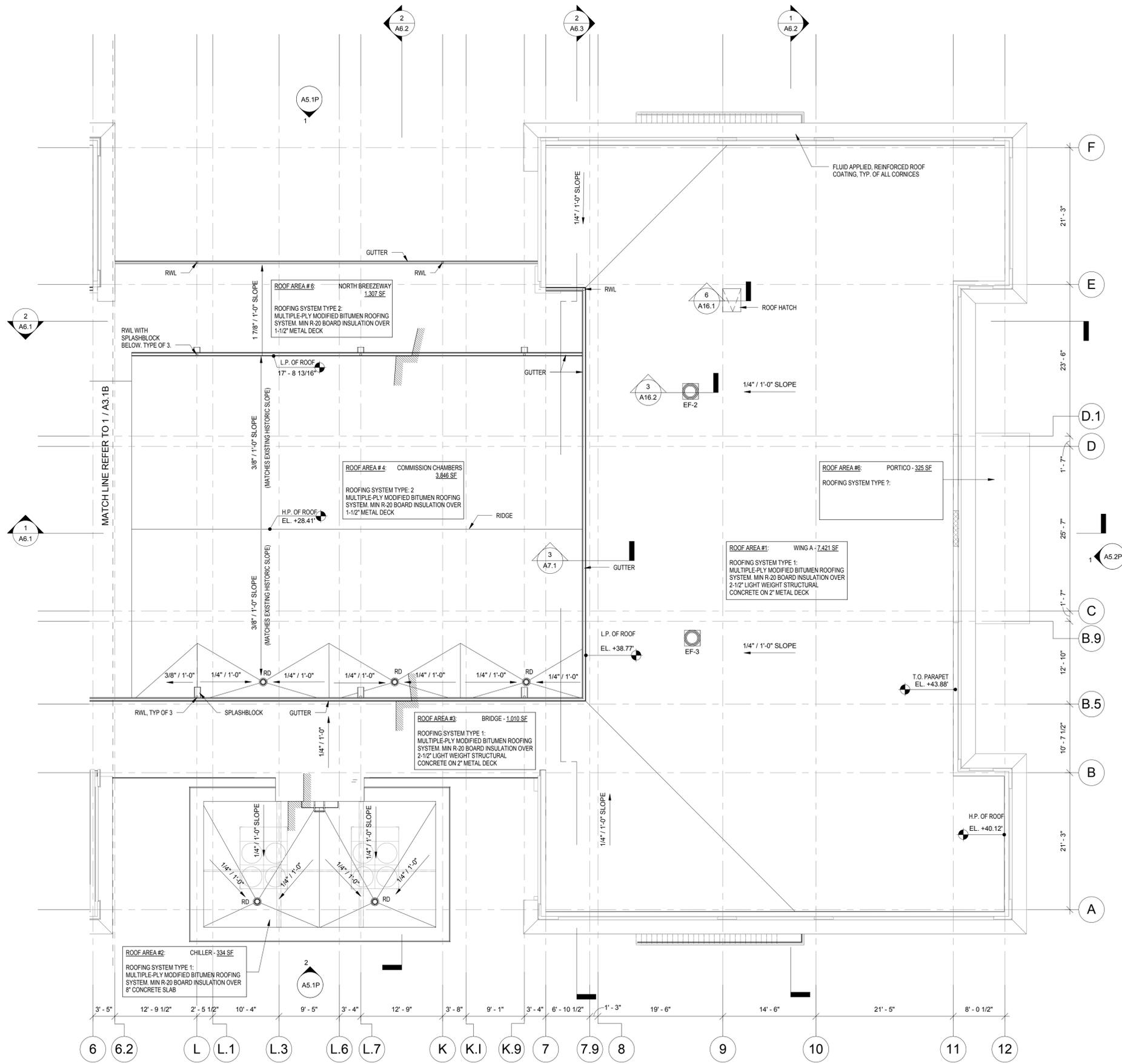
Bender & Associates
ARCHITECTS p.a.

Project No: 1305

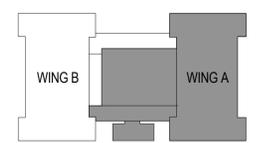
OVERALL ROOF PLAN

Date: 3/3/14

60% CONSTRUCTION DOCUMENTS SUBMITTAL



- ### ROOFING GENERAL NOTES
1. ALL ROOFING COMPONENTS SHALL BE APPROVED FOR INSTALLATION AND HAVE CURRENT FLORIDA PRODUCT APPROVAL OR MIAMI-DADE COUNTY NOTICE OF ACCEPTANCE (NOA).
 2. ROOFING SYSTEMS REQUIRED APPROVALS MAY INCLUDE, AMONG OTHERS, STRUCTURAL BONDING ADHESIVES, INSULATION BOARDS AND ADHESIVES, SBS MODIFIED BITUMEN MEMBRANES AND ASPHALTIC UNDERLAYMENTS, ROOF MOUNTED EQUIPMENT, AND ALL OTHER ROOFING RELATED ACCESSORIES REQUIRED TO PROVIDE A WATERPROOF SYSTEM.
 4. ALL ROOFING SYSTEMS SHOULD MEET OR EXCEED COMPONENTS AND CLADDING ROOF PRESSURE CRITERIA LISTED ON STRUCTURAL WIND DIAGRAMS.
 5. BASIS OF DESIGN FOR ALL NEW ROOFING AREAS: SIPLAST MULTIPLE-PLY SBS MODIFIED BITUMEN SYSTEM, TORCH APPLIED OVER ROOF COVER BOARDS TO FULLY ADHERED POLYISOCYANURATE INSULATION BOARDS; HOLDING MIAMI-DADE CO. PRODUCT APPROVAL (NOA) 13-0514.04; SYSTEM TYPE 1; PG. 20 OF NOA. ROOFING CAP MEMBRANE SHALL HAVE MINIMUM SOLAR REFLECTIVE INDEX (SRI) OF 78 AND 25% PRE-CONSUMER/POST INDUSTRIAL RECYCLED CONTENT.
 6. EXISTING ROOF AREAS TO BE PATCHED AND RE-FLASHED SHALL USE MATERIALS AND SYSTEMS MATCHING THOSE THAT ARE EXISTING.
 7. DESIGN OF ROOF MOUNTED EXHAUST FANS IS BASED ON: DIRECT DRIVE CENTRIFUGAL FANS, BY GREENHECK, SERIES G W/MIAMI-DADE CO NOA 11-0802.07
 8. ALL ROOF MOUNTED EQUIPMENT SHALL BE INSTALLED ON PREMANUFACTURED, INSULATED ROOF CURBS. DESIGN IS BASED ON: "RCP-3L" BY ROOF PRODUCTS, INC.
 9. ALL METAL FLASHING MATERIALS AND CORRESPONDING FASTENERS SHALL BE MADE OF STAINLESS STEEL, UNLESS OTHERWISE NOTED.
 10. REFER TO PROJECT MANUAL FOR SUBMITTAL REQUIREMENTS INCLUDING SUBSTITUTIONS, PRODUCT DATA, SHOP DRAWINGS, SAMPLES, INSTALLER QUALIFICATIONS, MANUFACTURER'S CERTIFICATES, INSTALLATION MOCKUPS, WARRANTIES, AND REQUIRED FIELD TESTS FOR SPECIFIC SYSTEMS.
 11. ALL ROOF RUNOFF WILL BE DIRECTED TO CISTERNS. SEE CIVIL DRAWINGS.



1 ROOF PLAN - WING A AND AUDITORIUM
A3.1A 1/8" = 1'-0"

REVISIONS

**KEY WEST CITY HALL
AT GLYNN ARCHER**
PHASE 2
1300 WHITE STREET KEY WEST, FLORIDA
CITY OF KEY WEST

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A4C700956 E8003963

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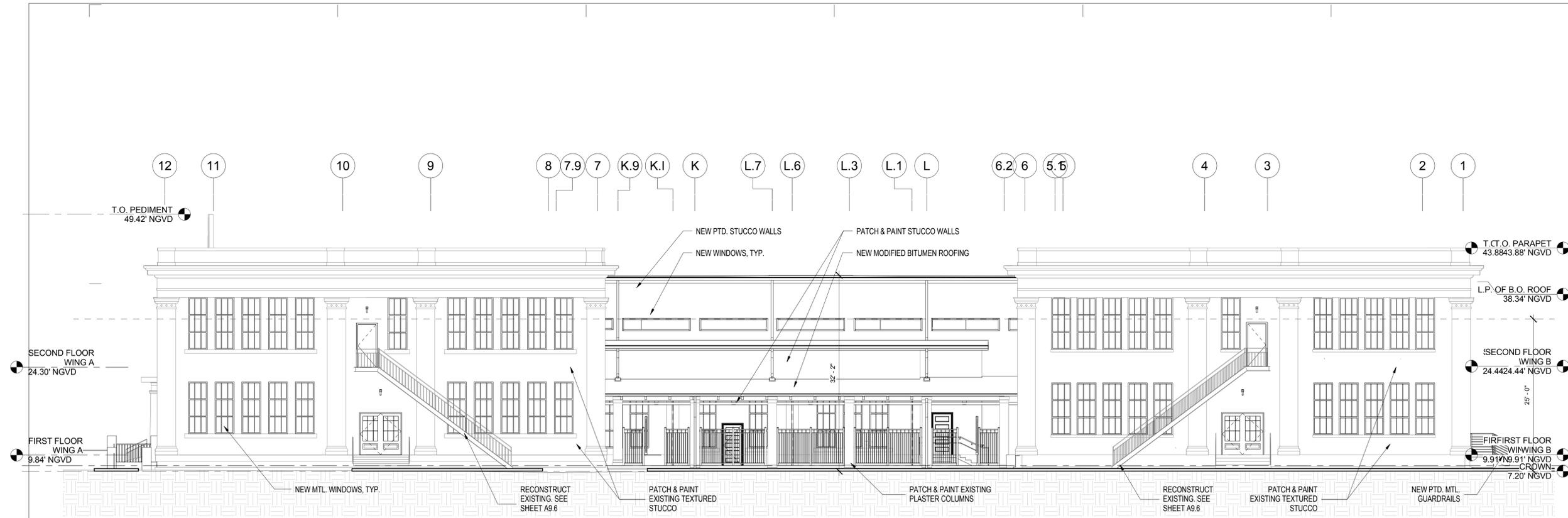
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Bender & Associates
ARCHITECTS
p.a.

Project No: 1305
ROOF PLAN - WING A
Date: 3/3/14

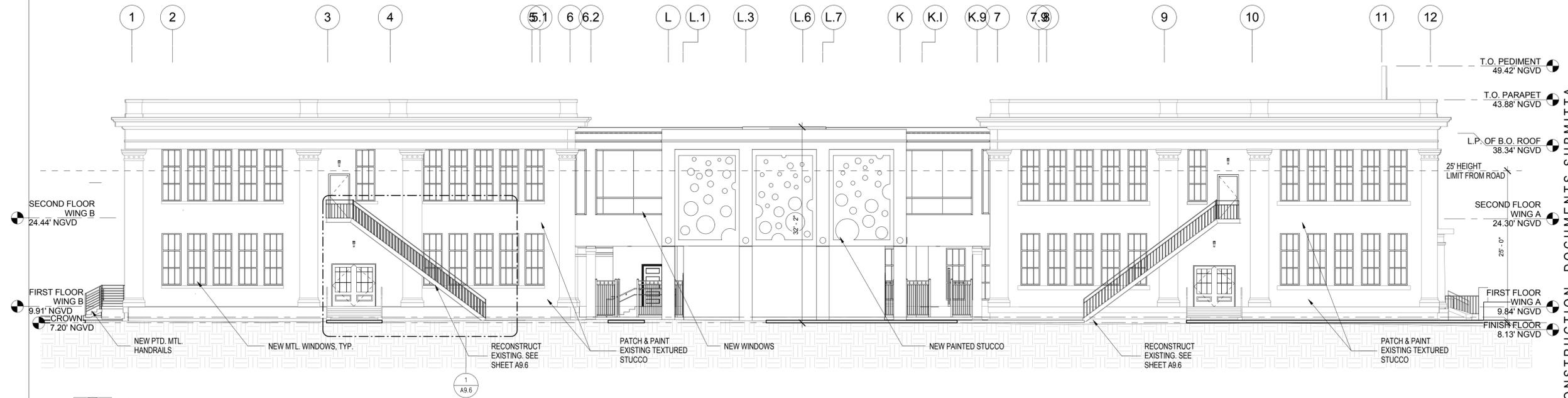
A3.1A
OF

60% CONSTRUCTION DOCUMENTS SUBMITTAL



1 North Exterior Elevation

A5.1 1/8" = 1'-0"



2 South Exterior Elevation

A5.1 1/8" = 1'-0"

REVISIONS

**KEY WEST CITY HALL
AT GLYNN ARCHER**
PHASE 2
1300 WHITE STREET KEY WEST, FLORIDA
CITY OF KEY WEST

MCHARRY ASSOCIATES
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7200 NW BOULDER ROAD, SUITE 202
MIAMI, FLORIDA 33150 (305) 440-2965
WWW.MCHARRY.COM

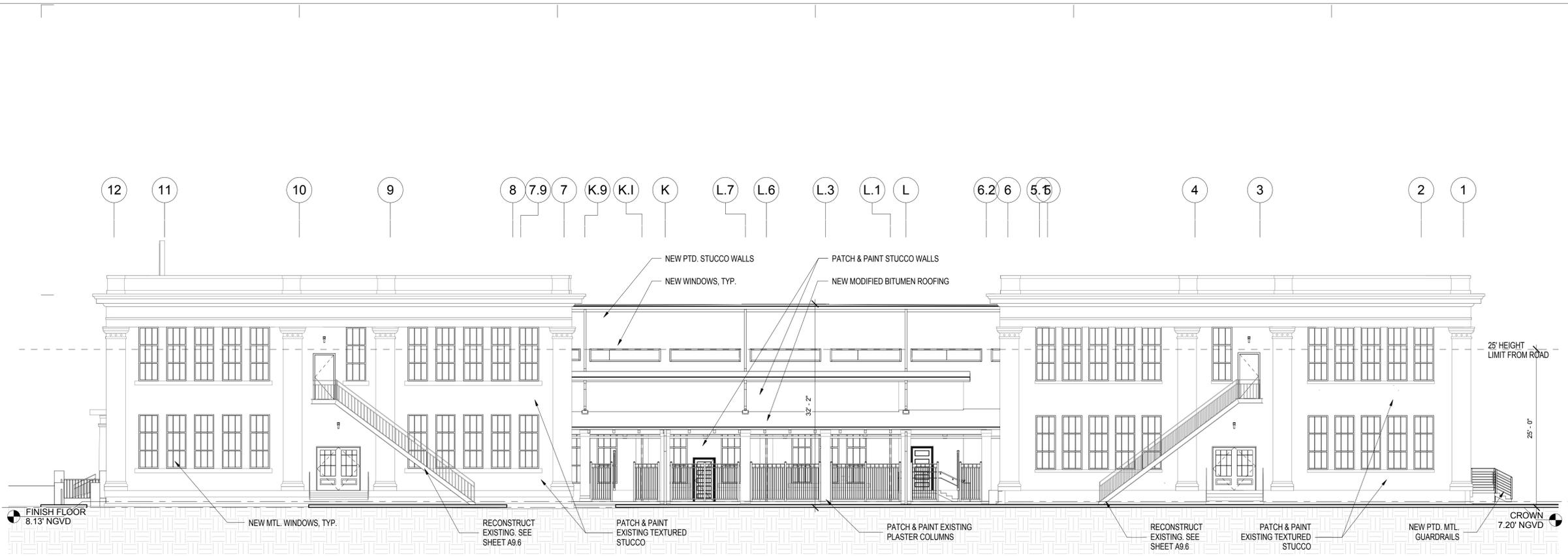
110 Angela Street
Key West, Florida 33040
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Florida License AIC002022

Bender & Associates
ARCHITECTS
p.c.

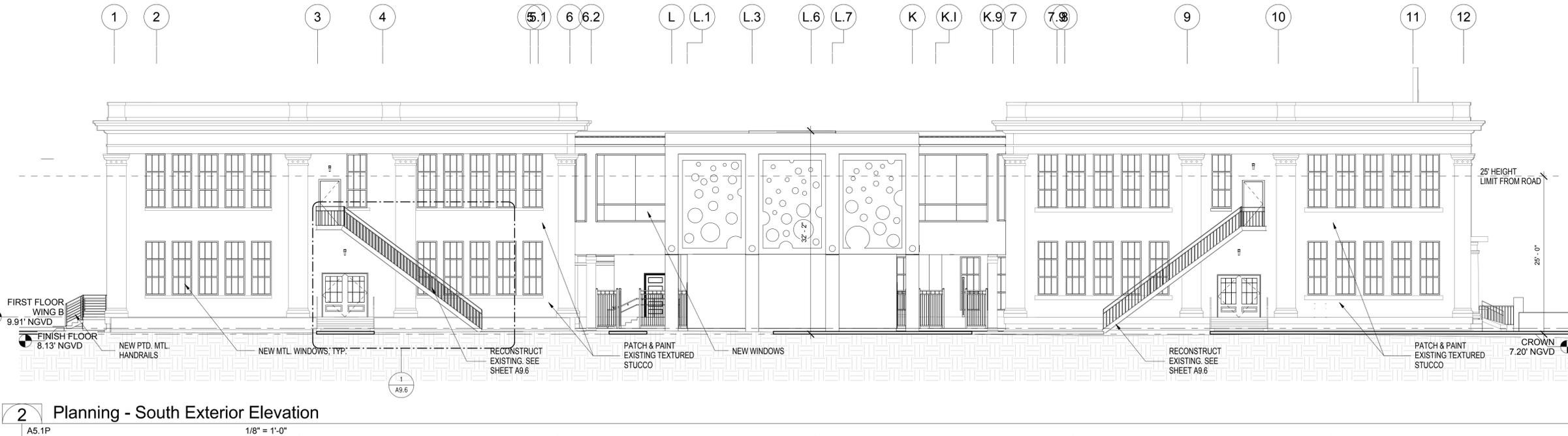
Project No: 1305
BUILDING EXTERIOR ELEVATIONS
Date: 3/3/14

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A5.1
OF



1 Planning - North Exterior Elevation
A5.1P 1/8" = 1'-0"



2 Planning - South Exterior Elevation
A5.1P 1/8" = 1'-0"

REVISIONS

**KEY WEST CITY HALL
AT GLYNN ARCHER**
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1300 WHITE STREET KEY WEST, FLORIDA
CITY OF KEY WEST

MCHARRY ASSOCIATES
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ARCHITECTS
p.a.

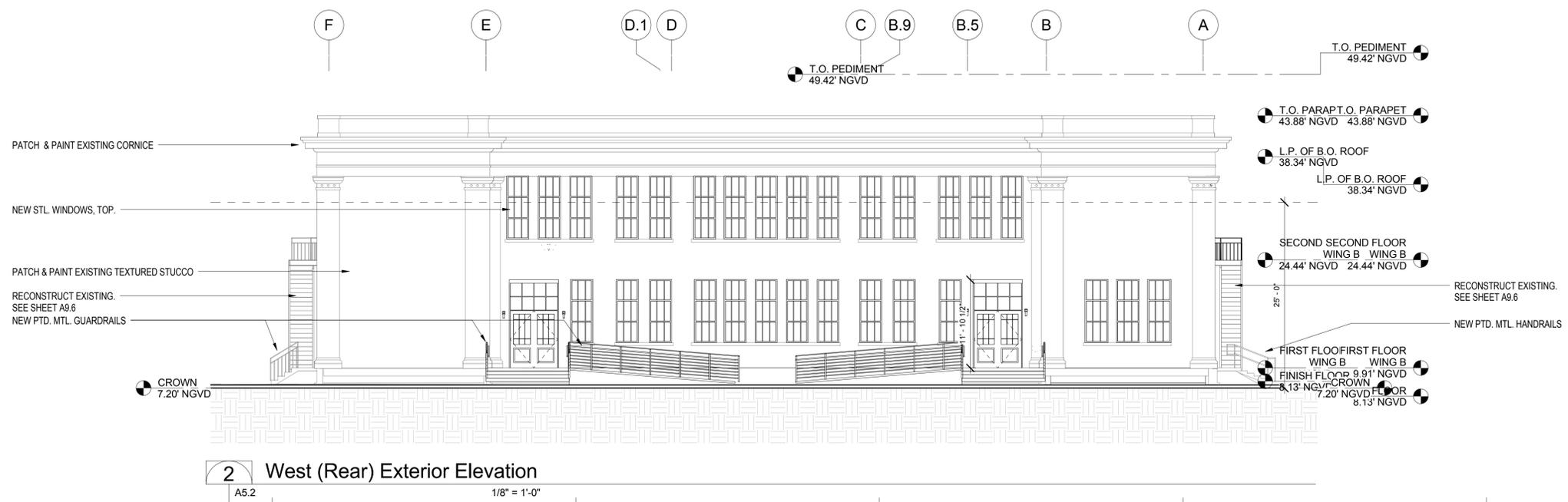
Project No: 1305
BUILDING EXTERIOR ELEVATIONS
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A5.1P
PLANNING
OF

60% CONSTRUCTION DOCUMENTS SUBMITTA



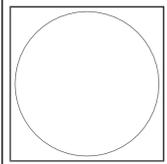
1 East (Front) Exterior Elevation
A5.2 1/8" = 1'-0"



2 West (Rear) Exterior Elevation
A5.2 1/8" = 1'-0"

REVISIONS

KEY WEST CITY HALL
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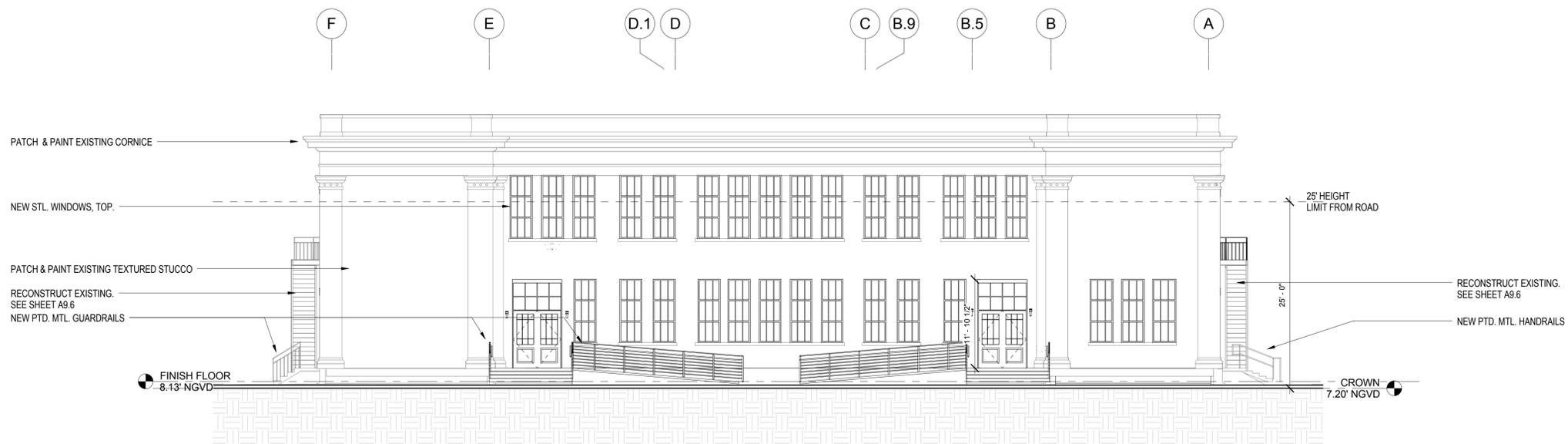
Project No: 1305
BUILDING EXTERIOR ELEVATIONS
Date: 3/3/14

A5.2
OF

60% CONSTRUCTION DOCUMENTS SUBMITTA



1 Planning - East (Front) Exterior Elevation
A5.2P 1/8" = 1'-0"



2 Planning - West (Rear) Exterior Elevation
A5.2P 1/8" = 1'-0"

REVISIONS

**KEY WEST CITY HALL
AT GLYNN ARCHER**
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1300 WHITE STREET KEY WEST, FLORIDA
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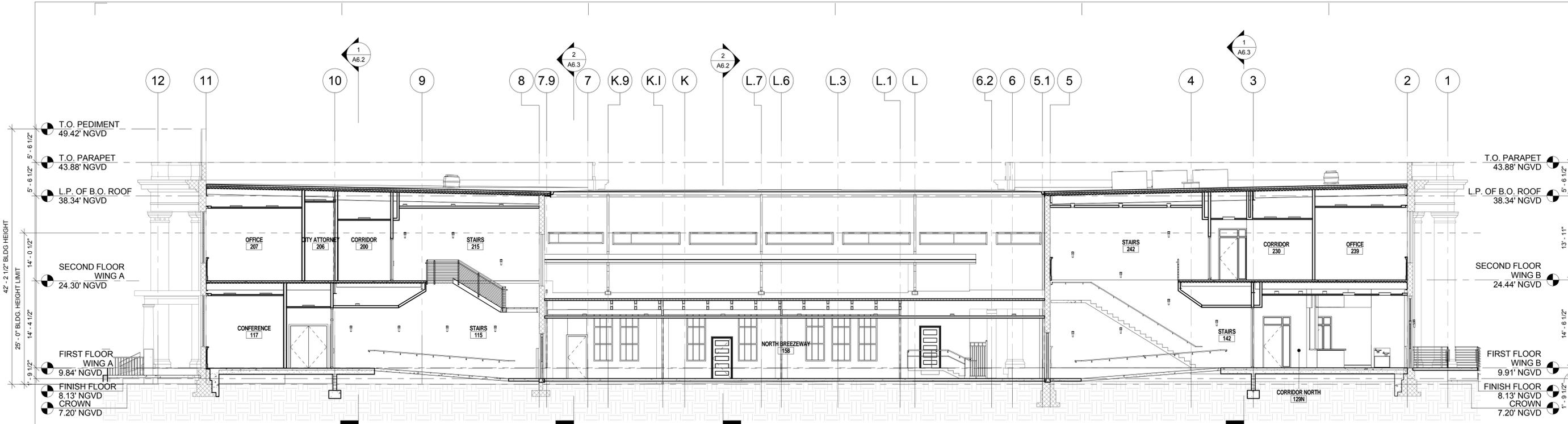
110 Angela Street
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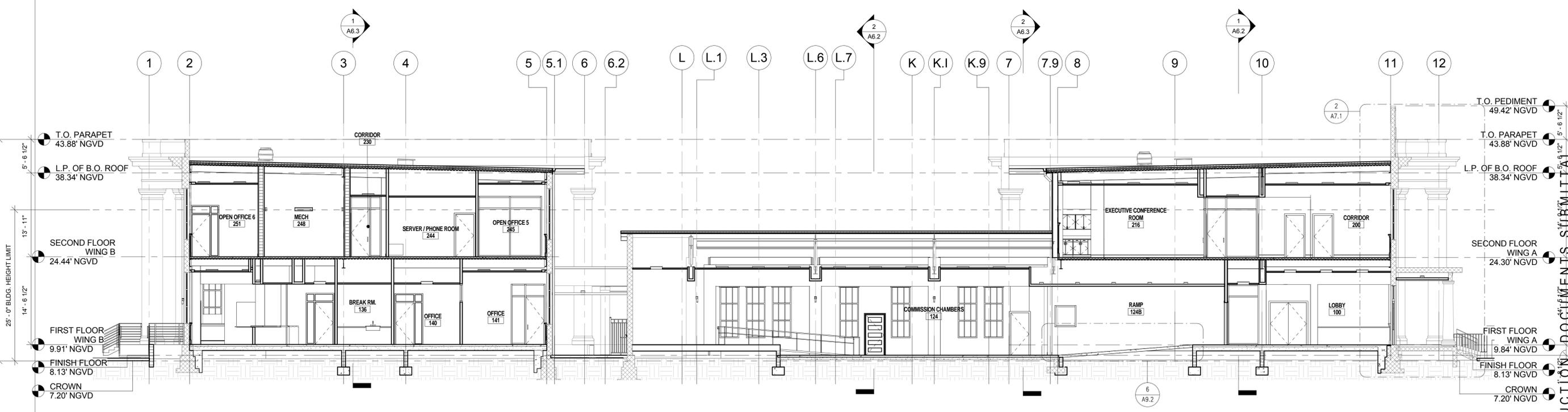
Project No: 1305
BUILDING EXTERIOR ELEVATIONS
Date: 3/3/14

A5.2P
PLANNING
OF

60% CONSTRUCTION DOCUMENTS SUBMITTA



2 BUILDING SECTION - NORTH BREEZEWAY
 A6.1 1/8" = 1'-0"

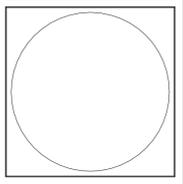


1 BUILDING SECTION - AUDITORIUM
 A6.1 1/8" = 1'-0"



REVISIONS

**KEY WEST CITY HALL
 AT GLYNN ARCHER**
 PHASE 2
 1300 WHITE STREET KEY WEST, FLORIDA
 CITY OF KEY WEST



MCHARRY ASSOCIATES
 ARCHITECTS (CONCRETE/STEEL/INTERIORS)
 A.A.C. 000956 E80003963
 2780 SW DOUGLAS ROAD, SUITE 302
 MAAMI, FLORIDA 33135 (305) 236-1317
 FAX: (305) 236-2227
 Florida License: ALC002022

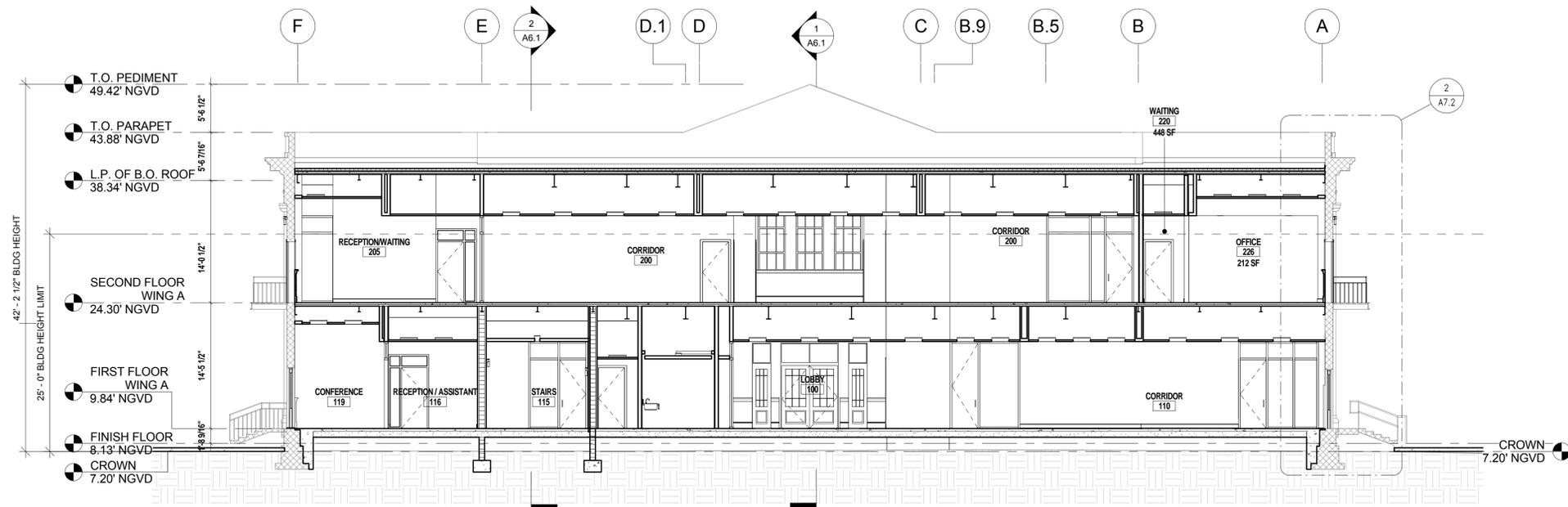
410 Angela Street
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ARCHITECTS
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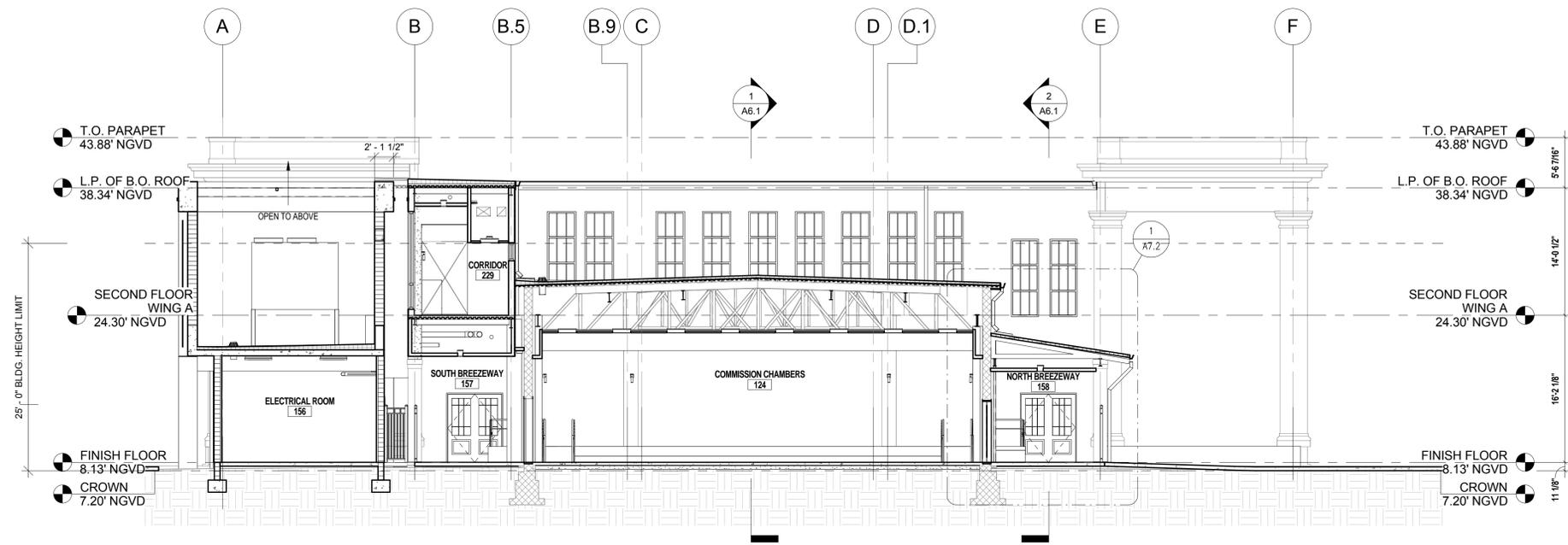
Project No: 1305
 BUILDING SECTIONS
 Date: 3/3/14

A6.1
 OF

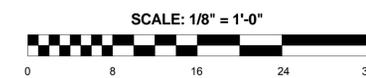
60% CONSTRUCTION DOCUMENTS - SUBMITTAL



1 TRANSVERSE BUILDING SECTION WING A
 A6.2 1/8" = 1'-0"



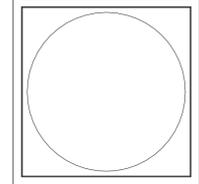
2 BUILDING SECTION - AUDITORIUM AND CHILLER
 A6.2 1/8" = 1'-0"



REVISIONS

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**KEY WEST CITY HALL
 AT GLYNN ARCHER**
 PHASE 2
 1300 WHITE STREET KEY WEST, FLORIDA
 CITY OF KEY WEST



MCHARRY ASSOCIATES
 ARCHITECTURE, ENGINEERING & INTERIORS
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 WWW.MCHARRY.COM

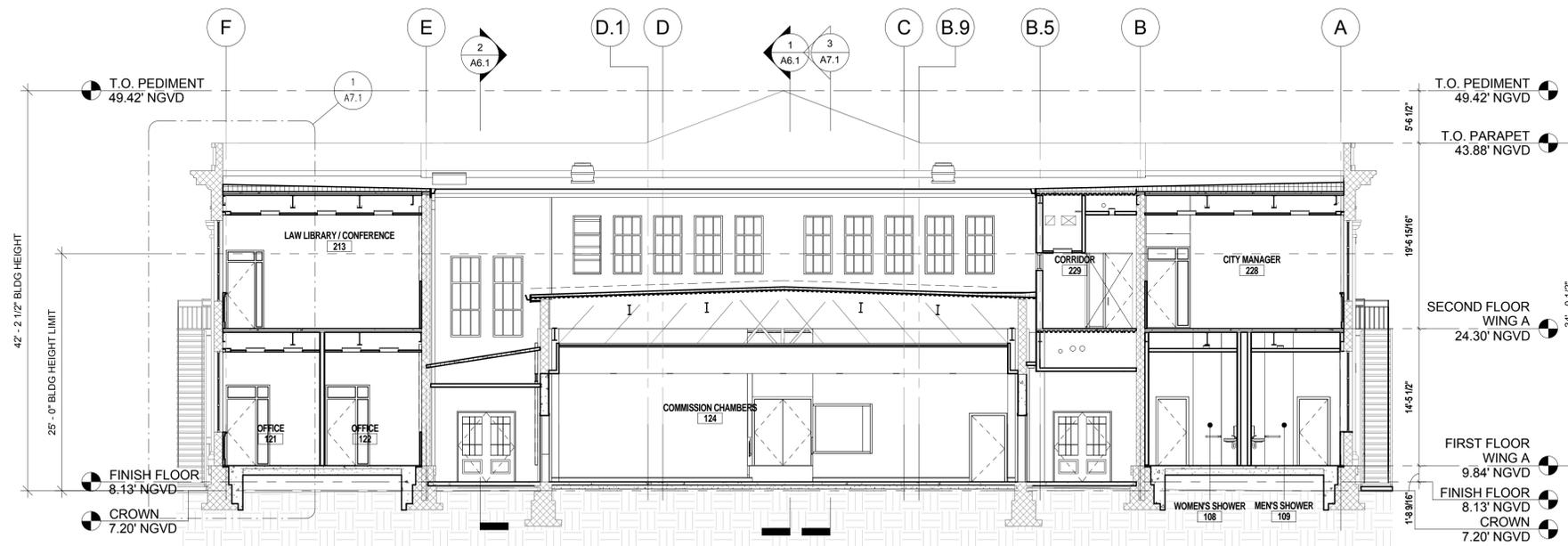
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ARCHITECTS
 p.a.

Project No: 1305

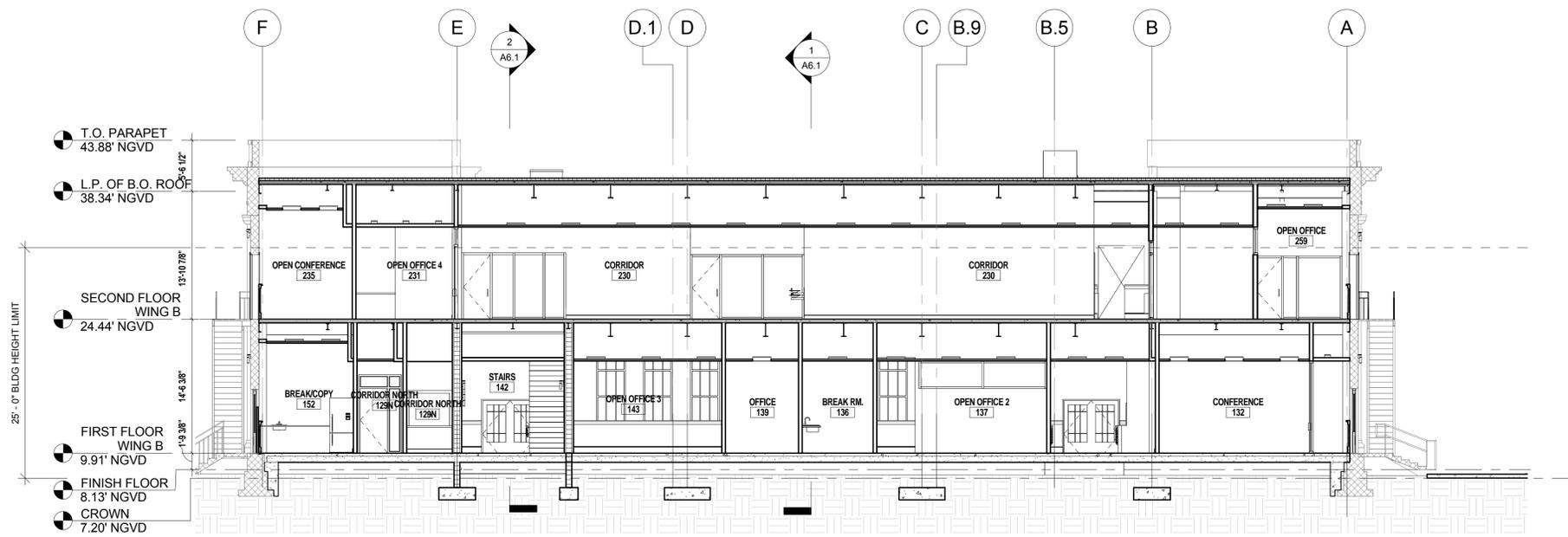
BUILDING SECTIONS
Date: 3/3/14

60% CONSTRUCTION DOCUMENTS SUBMITTAL



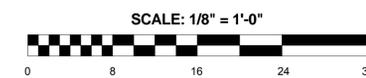
2 BUILDING SECTION - AUDITORIUM AT WING A

A6.3 1/8" = 1'-0"



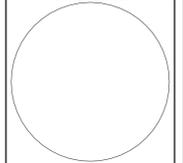
1 TRANSVERSE BUILDING SECTION - WING B

A6.3 1/8" = 1'-0"



REVISIONS

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CITY OF KEY WEST



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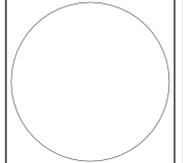
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A6.3
OF

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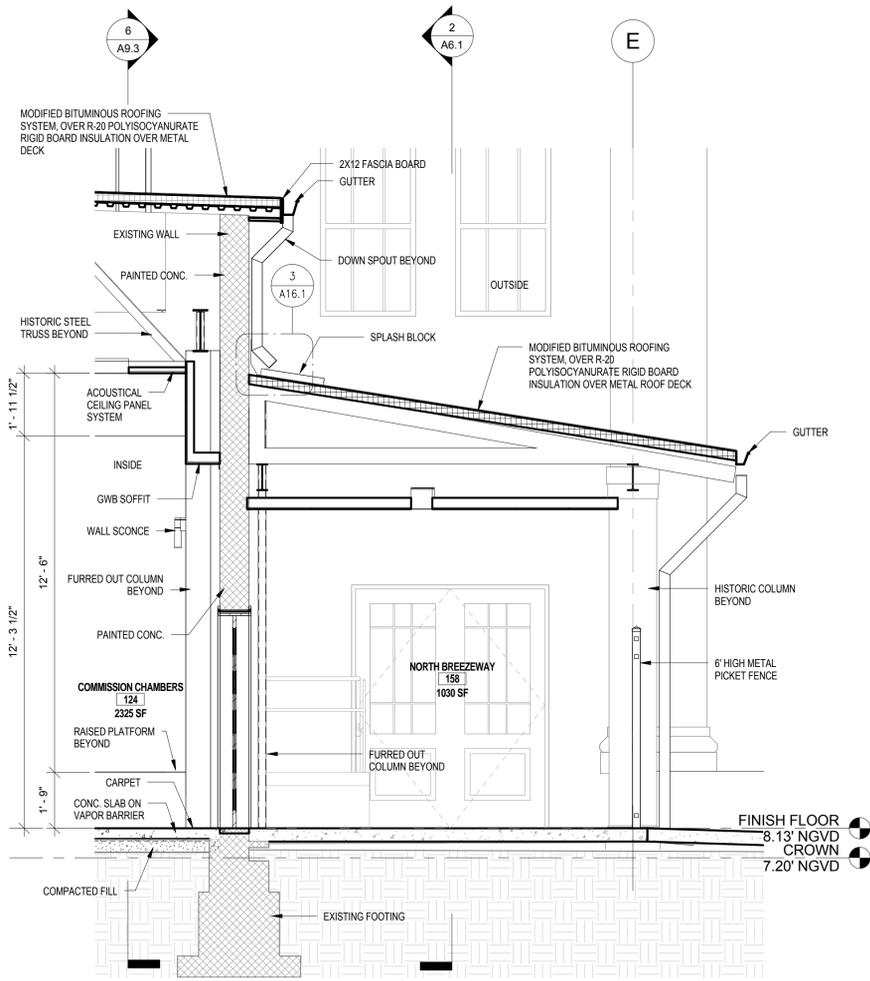
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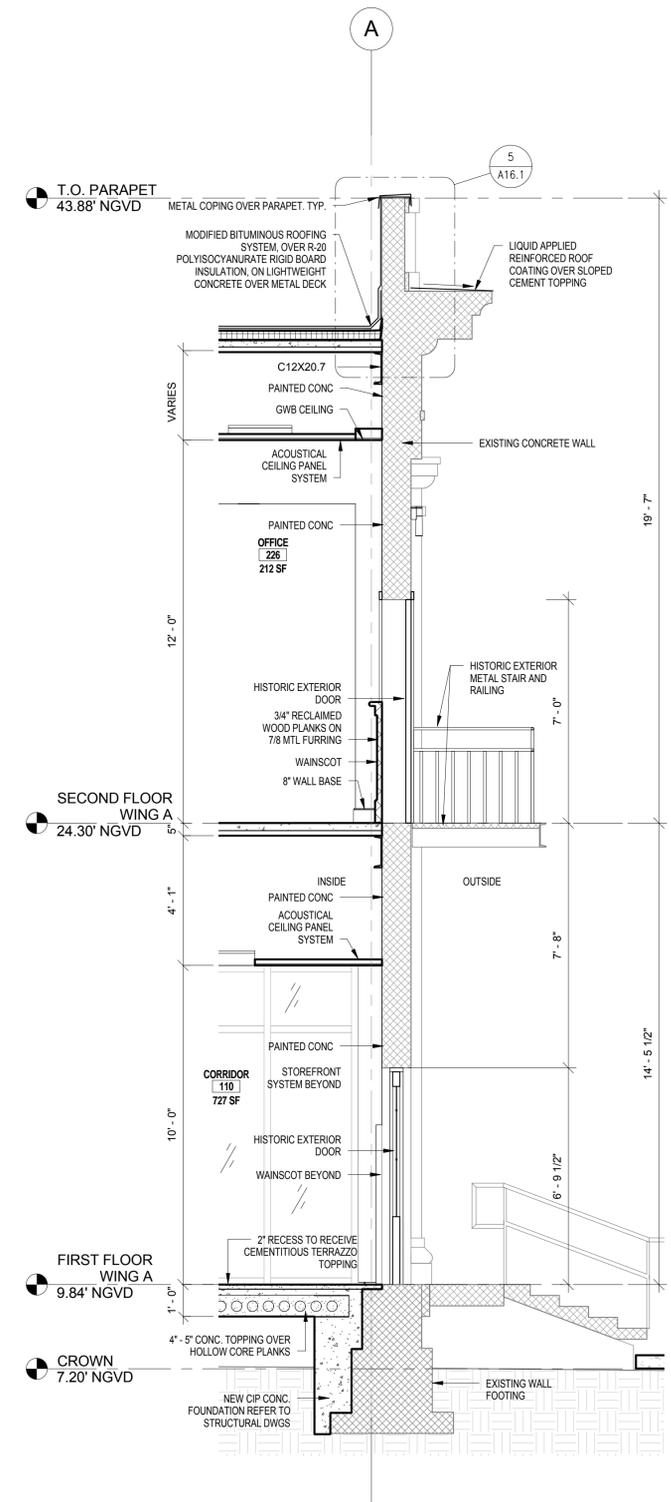
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Project No: 1305
WALL SECTIONS
Date: 3/3/14

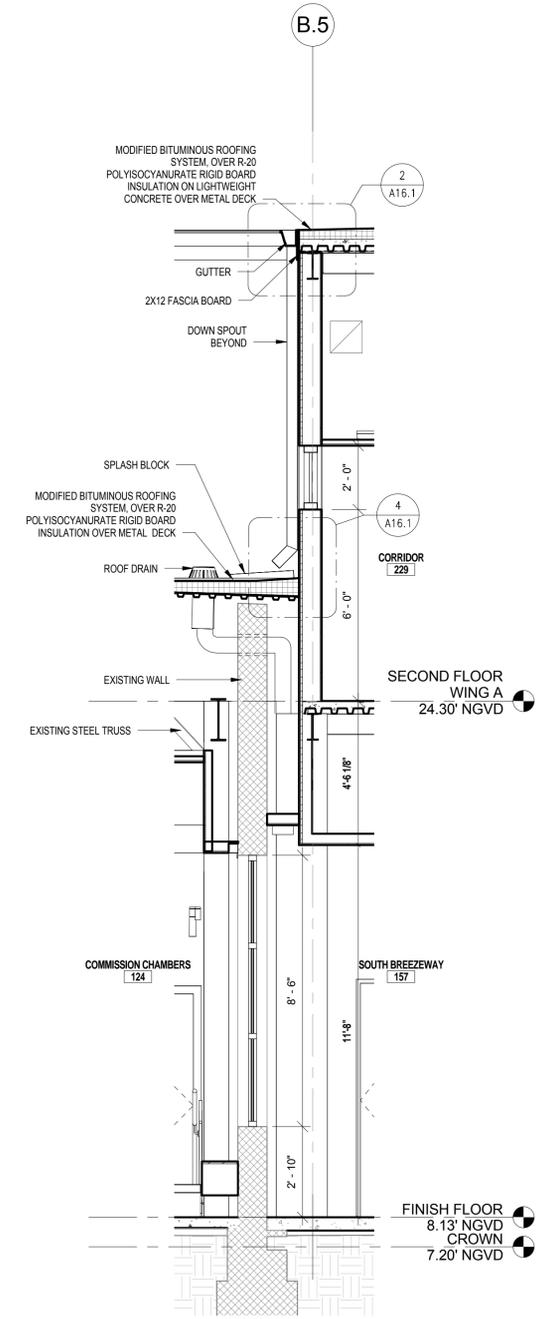
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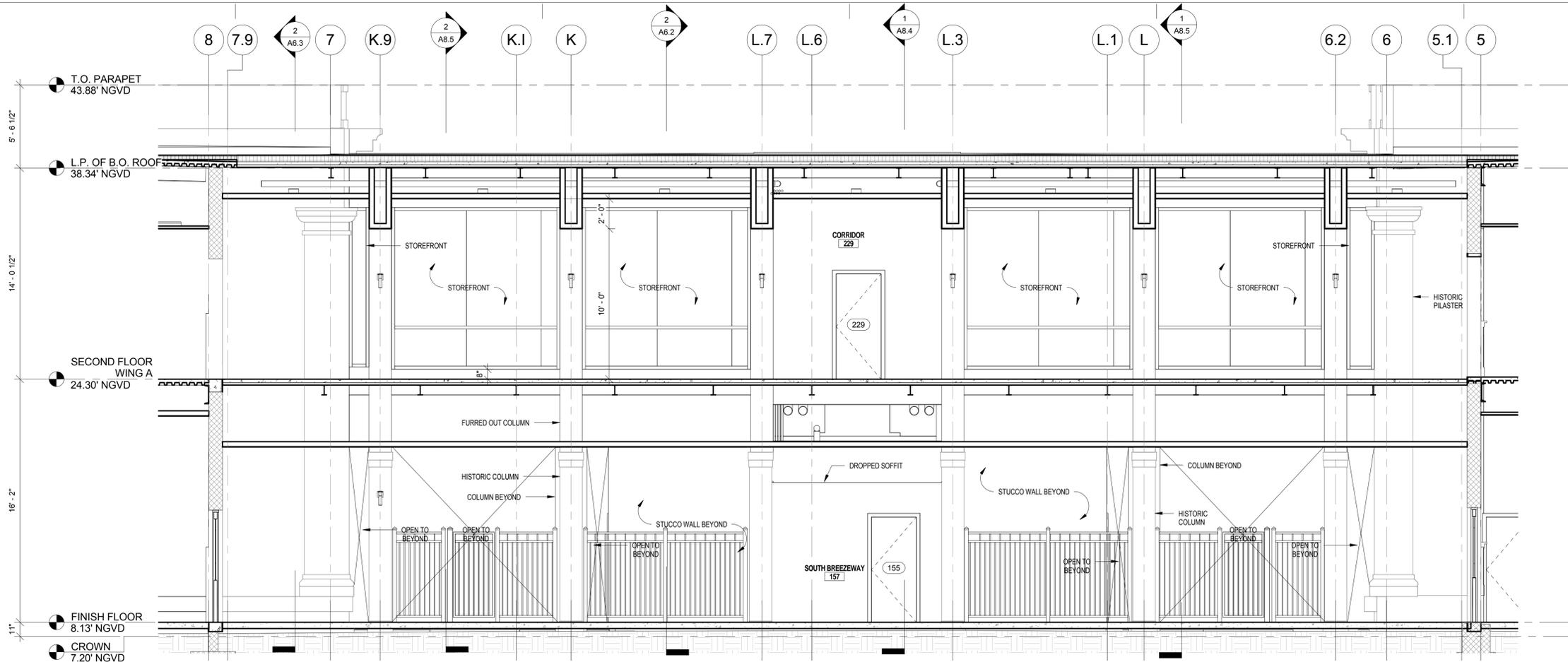
1 NORTH BREEZEWAY WALL SECTION
A6.2 A7.2 3/8" = 1'-0"



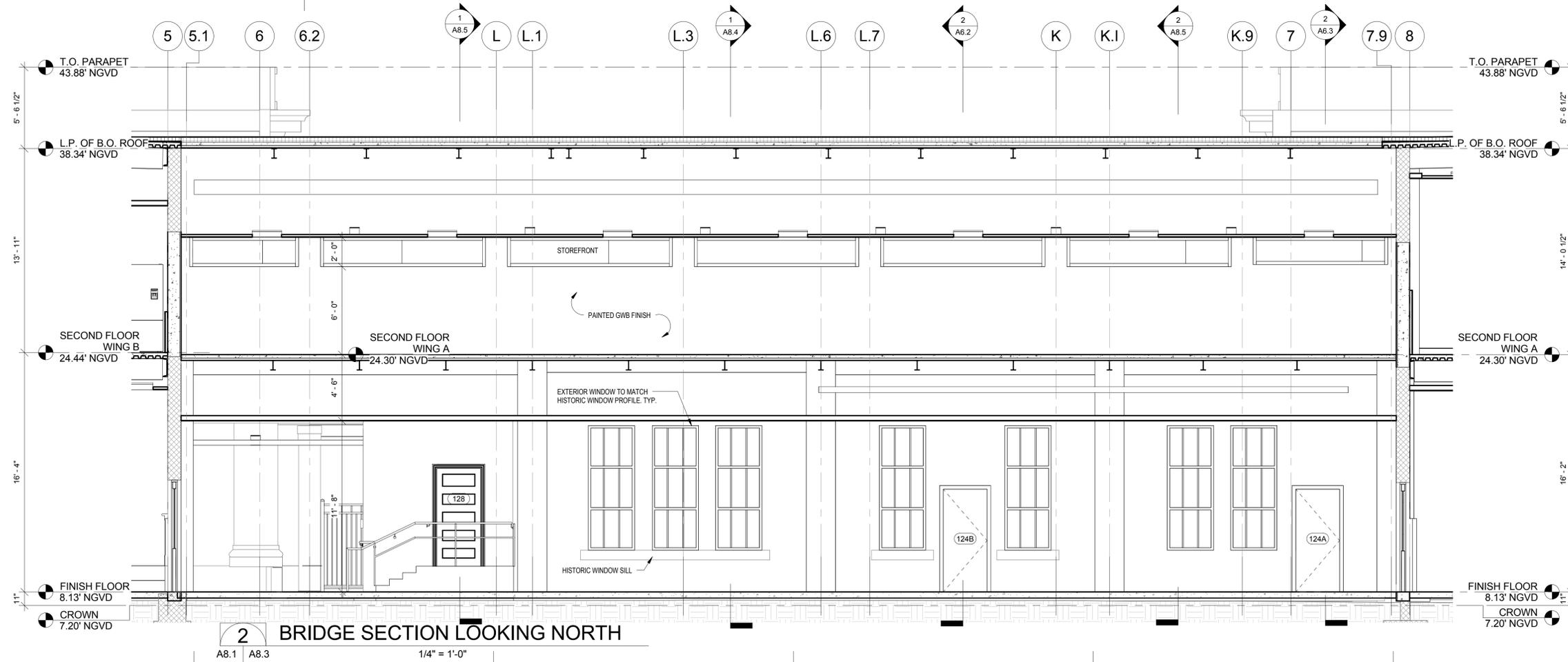
2 WALLSECTION - WING A CORRIDOR 110
A6.2 A7.2 3/8" = 1'-0"



3 WALL SECTION - BRIDGE
A8.4 A7.2 3/8" = 1'-0"



1 BRIDGE SECTION LOOKING SOUTH
 1/4" = 1'-0"

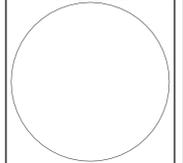


2 BRIDGE SECTION LOOKING NORTH
 1/4" = 1'-0"

REVISIONS

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**KEY WEST CITY HALL
 AT GLYNN ARCHER**
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 1300 WHITE STREET KEY WEST, FLORIDA
 CITY OF KEY WEST



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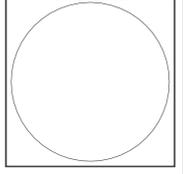
Project No: 1305
 BRIDGE - LONGITUDINAL SECTIONS
 Date: 3/3/14

A8.3
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REVISIONS

KEY WEST CITY HALL
 AT GLYNN ARCHER
 PHASE 2
 1300 WHITE STREET KEY WEST, FLORIDA
 CITY OF KEY WEST



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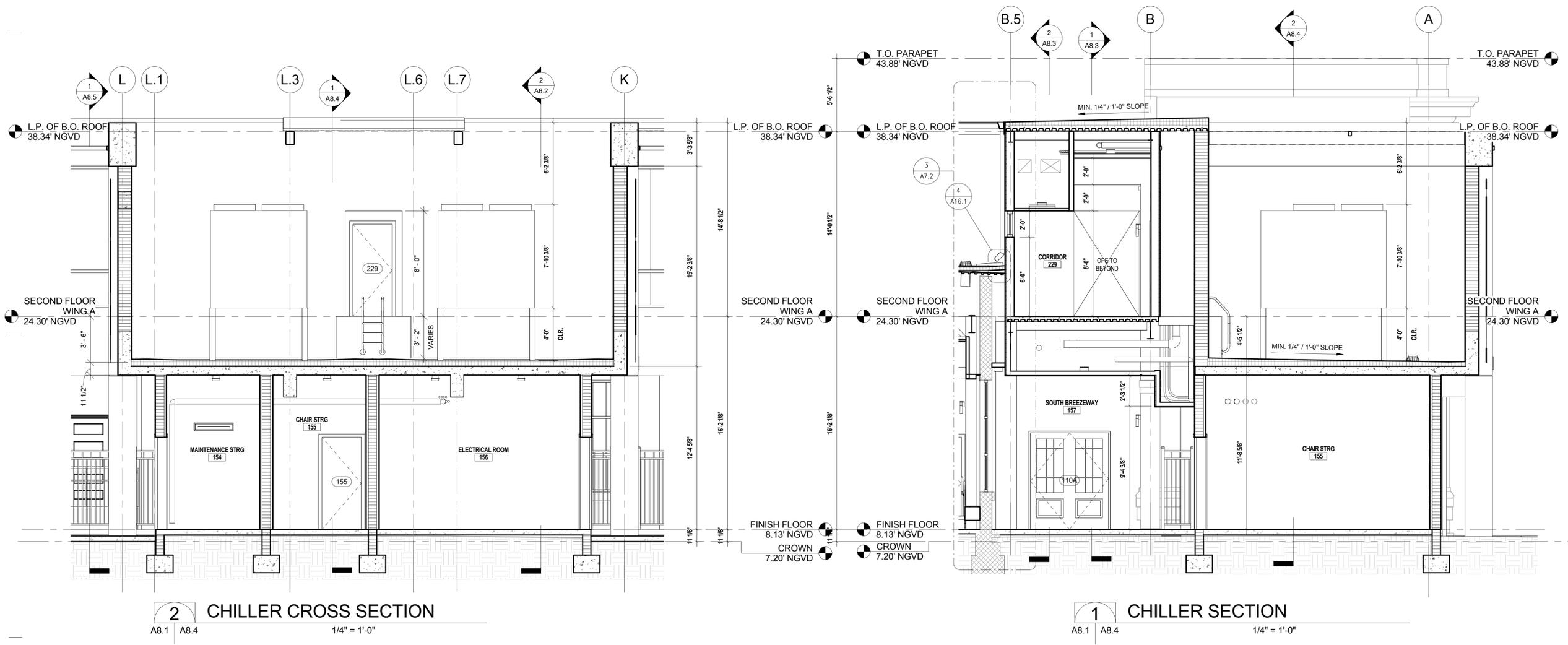
410 Angela Street
 Key West, Florida 33040
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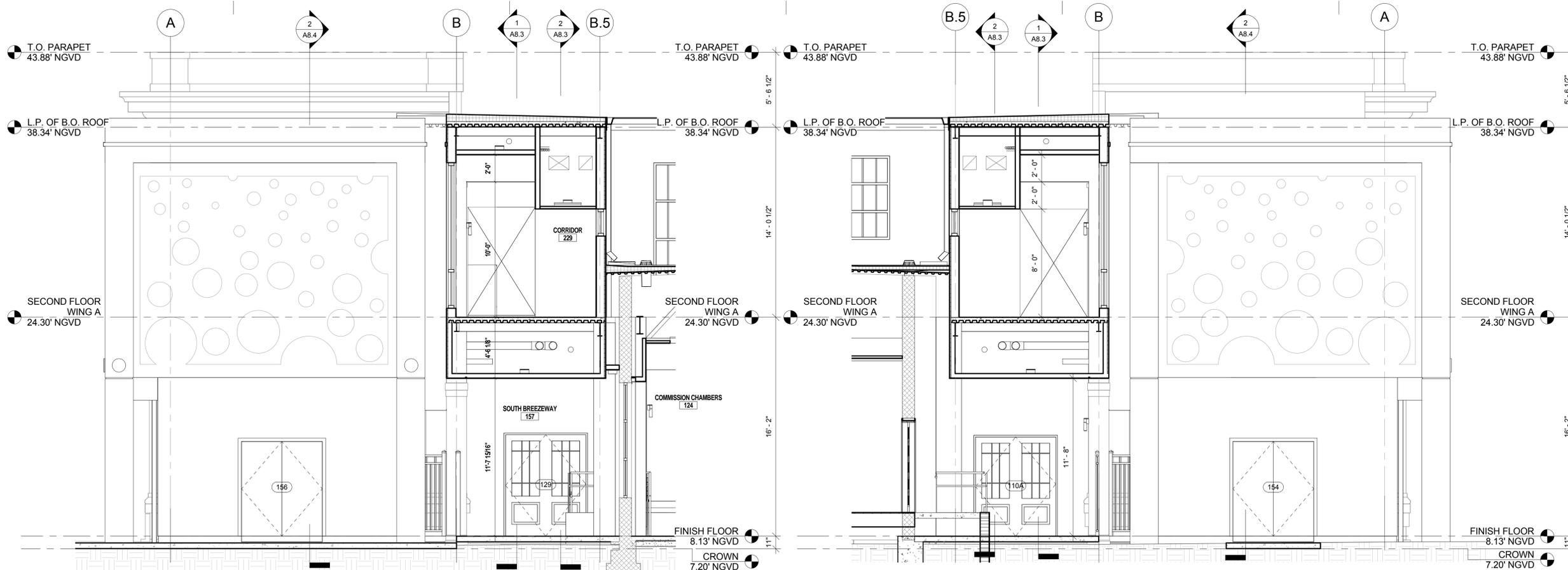
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Project No.:	1305
BRIDGE SECTIONS	
Date:	3/3/14

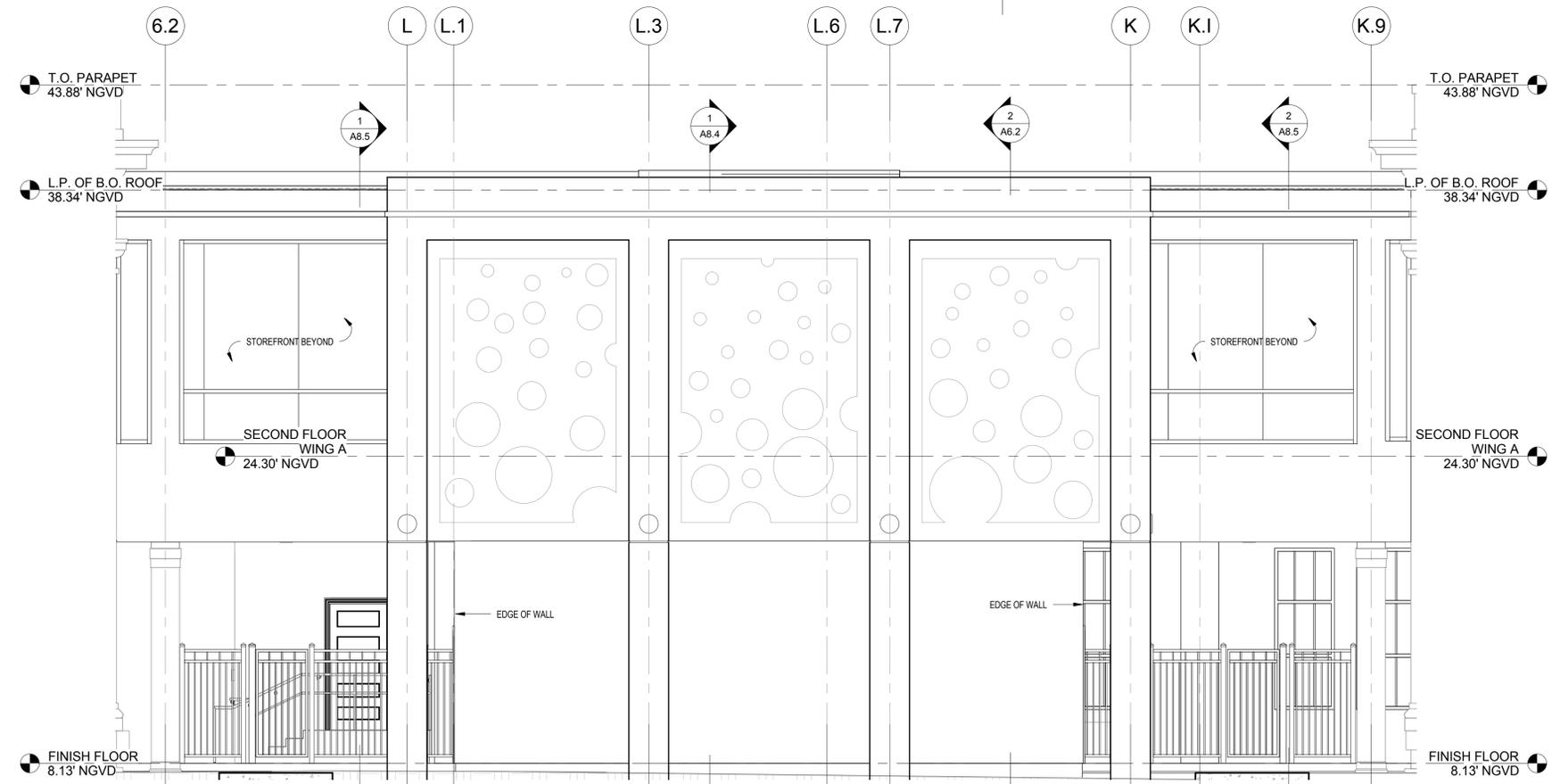
A8.4
 OF





2 CHILLER EAST ELEVATION
 A8.1 A8.5 1/4" = 1'-0"

1 CHILLER WEST ELEVATION
 A8.2 A8.5 1/4" = 1'-0"

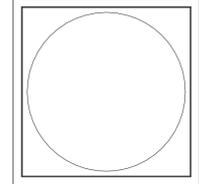


3 CHILLER SOUTH ELEVATION
 A8.1 A8.5 1/4" = 1'-0"

REVISIONS

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**KEY WEST CITY HALL
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Project No: 1305

BRIDGE ELEVATIONS

Date: 3/3/14

A8.5
 OF

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GENERAL ELECTRICAL NOTES

1. a) ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE, FLORIDA BUILDING CODE AND OTHER APPLICABLE CODES AND STANDARDS.
1. b) IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FULLY COGNIZANT WITH ALL CODE SECTIONS AS THEY APPLY TO THE WORK/INSTALLATION AT HAND WHETHER OR NOT SHOWN ON THE DRAWINGS BUT REQUIRED BY CODE. IF ANY DISCREPANCY ARISES BETWEEN ANY DESIGN ISSUES AND CODE REQUIREMENTS, CONTRACTOR MUST ADHERE TO THE MOST STRINGENT APPROACH.
2. a) THE DRAWINGS ARE DIAGRAMMATIC AND DO NOT SHOW ALL OFFSETS, BENDS AND BOXES REQUIRED TO MAKE A COMPLETE NEAT INSTALLATION IN ACCORDANCE WITH N.E.C.
2. b) WHEN CONFLICTS ARISE IN LOCATIONS WIRING DEVICES, ELECTRICAL EQUIPMENT, DISCONNECTS, PANELBOARDS ETC. DUE TO FIELD CONDITION OR IMPROPER FIELD COORDINATION CONTRACTOR SHALL BRING IT TO THE A/E'S ATTENTION AND AT NO EXTRA COST RELOCATE, AND OR EXTEND WITHIN A REASONABLE DISTANCE SUCH ITEM WHICH IS IN CONFLICT. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING LOCATION OF ALL COMPONENT PRIOR TO ROUGH-IN WITH ALL TRADES- NO EXTRAS WILL BE ALLOWED FOR FAILURE TO DO SO.
3. THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING FIELD CONDITIONS BY VISITING THE SITE PRIOR TO COMMENCING/BIDDING WORK.
4. CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING ALL ELECTRICAL SYSTEM COMPONENTS SUCH AS LUMINAIRES, WIRING DEVICES, APPLIANCES, CONTROLS SHOWN ON THE ARCHITECTURAL OR MECHANICAL DRAWINGS.
5. THE CONTRACTOR SHALL SATISFACTORILY REPAIR/REPLACE EQUIPMENT OR PART OF STRUCTURE DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHED AREAS SHALL BE RESTORED TO MATCH ADJACENT AREAS.
6. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER PRIOR TO CUTTING OR DRILLING ANY STRUCTURAL SUPPORT MEMBER.
7. a) ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS RUN CONCEALED IN FINISHED AREAS EXCEPT AS SPECIFICALLY SHOWN/NOTED OTHERWISE.
b) ALL DEVICES INSTALLED OUTDOORS TO HAVE WEATHERPROOF COVERS.
8. ALL ELECTRICAL EQUIPMENT SHALL BE REMOVED FROM STRUCTURE TO BE REMOVED. ACCESSIBLE RACEWAYS, WIRES, BOXES, SWITCHES AND OTHER ELECTRICAL ITEMS ASSOCIATED WITH THIS WORK SHALL BE REMOVED IF NOT REQUIRED FOR NEW EQUIPMENT TO CONTINUE IN SERVICE.
9. WIRE SHALL BE REMOVED BACK TO SOURCE FROM INACCESSIBLE RACEWAYS NOT REUSED. INSTALL BLANK PLATES ON FLUSH OUTLETS NOT REUSED. PLATE COLOR SHALL MATCH ADJACENT SURFACE AS NEAR AS POSSIBLE IN FINISHED AREAS.
10. INSTALL POWER AND CONTROL WIRING (INCLUDING CONDUITS AND BOXES) AND REQUIRED CONTROL COMPONENTS FOR AIR CONDITIONING SYSTEMS AS SHOWN/NOTED ON THESE DRAWINGS AND PER OTHER APPLICABLE DRAWINGS/INSTRUCTIONS. SEE AIR CONDITIONING DRAWINGS.
11. ALL MATERIAL REMOVED SHALL BE DISPOSED OF AS DIRECTED BY OWNER.
12. WIRE SIZE SHALL BE #12 THHN/THWN UNLESS OTHERWISE NOTED ON PLANS. CONDUCTORS #6 AND LARGER SHALL BE THHN.
13. ALL CONDUCTORS SHALL BE COPPER.
14. ALL CONDUCTORS SHALL BE RUN IN CONDUIT (METALLIC TYPE). IF PVC SCHEDULE 40 IS USED FOR UNDERGROUND FEEDERS ONLY, AN EQUIPMENT GROUND CONDUCTOR SIZED IN ACCORDANCE WITH N.E.C. 250-122 MUST BE INSTALLED AND CONDUIT SIZE INCREASED AS REQUIRED.
15. ALL MATERIALS SHALL BE U. L. APPROVED.
16. NEW TYPEWRITTEN PANEL TALLY SHALL BE FURNISHED AFTER JOB IS COMPLETED REFLECTING ALL CHANGES AND ADDITIONS.
17. ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED.
18. CONTRACTOR SHALL SEAL ALL FLOOR OPENINGS WITH A FIRE SEAL SIMILAR TO 'OZ' FLAMESEAL.
19. ALL NON-POWER RELATED WIRING IN CEILING AIR CONDITIONING PLENUM RUNNING WITHOUT CONDUIT SHALL BE TEFLON COATED CLASSIFIED FOR USE IN PLENUMS.
20. PROVIDE TRAPEZE HANGER ASSEMBLY FOR PLENUM COMMUNICATION CABLES WITH 3/8" DIAMETER. THREADED ROD AND CHANNEL ASSEMBLY TO SUPPORT CABLE BUNDLES EVERY 4 FT. O.C. (MAXIMUM CABLES TO BE PROPERLY STRAPPED WITH SELF-LOCKING CABLE TIES. EXPOSED CABLES SHALL NOT LIE ON TOP OF CEILING TILE OR LUMINAIRES.
21. ALL DATA EQUIPMENT TO BE FED BY A DEDICATED CIRCUIT WHICH CONSISTS OF A POWER CIRCUIT THAT FEEDS THIS TYPE OF EQUIPMENT ONLY WITH A SEPARATE GREEN GROUNDING CONDUCTOR CARRIED ALL THE WAY BACK TO THE PANEL TO BE CONNECTED TO THE GROUNDING SYSTEM.
22. SEE ARCHITECTURAL DRAWINGS FOR INFORMATION CONCERNING EXISTING CONDITIONS, NEW WORK AND COUNTER DETAILS.
23. a) ALL WIRING DEVICES TO BE SPECIFICATION GRADE WITH NYLON COVER PLATES EQUAL TO LUTRON CONTROLLER (SWITCHES); LEVITON COMMERCIAL GRADE (RECEPTACLES).
b) ALL WIRING DEVICES INSTALLED IN KITCHEN COUNTERS, LAVATORIES AND EXTERIOR TO BE GF1.
24. LIGHT SWITCHES OPERATING CIRCUITS OTHER THAN 120V SHALL NOT BE GANGED IN SAME BOX UNLESS SWITCHES ARE CONNECTED TO SAME CIRCUIT.
25. ALL BRANCH CIRCUITS TO HAVE A GREEN EQUIPMENT GROUNDING CONDUCTOR SIZED AS PER N.E.C. 250.122.
26. ALL EMPTY CONDUITS TO BE PROVIDED WITH NYLON PULL STRINGS.
27. FUSES SHALL BE DUAL ELEMENT, TIME DELAY TYPE UNLESS OTHERWISE NOTED.
28. A/C EQUIPMENT WIRING, BREAKER AND FUSE SIZES ARE BASED ON A/C EQUIPMENT SPECIFIED ON CONTRACT DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WIRING, BREAKER AND FUSES SIZES IN ACCORDANCE WITH A/C EQUIPMENT NAMEPLATE REQUIREMENTS IF DIFFERENT FROM THAT SPECIFIED ON DRAWINGS, AS WELL AS ANY FEEDER CHANGES BEING AFFECTED BY THIS CHANGE. CONTRACTOR SHALL MAKE ABOVE MENTIONED CHANGES AT NO EXTRA COST.
29. CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH OTHER TRADES IN ORDER TO FURNISH AND INSTALL ALL CONTROL WIRING AND RACEWAYS, ALL POWER CONTROL CIRCUITS WIRING AND RACEWAYS AS SHOWN ON THE AIR CONDITIONING DRAWINGS OR SPECIFICATIONS. IF AIR CONDITIONING DRAWINGS REFER TO MANUFACTURER'S WIRING DIAGRAMS, THE CONTRACTOR SHALL VERIFY WITH SAID MANUFACTURER ALL REQUIREMENTS AND INCLUDE ALL RELATED WORK IN HIS CONTRACT.

30. ALL LUMINAIRES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH THE CEILING SYSTEM MANUFACTURER RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS.
31. RISERS ARE DIAGRAMMATIC ONLY. THEY DO NOT SHOW EVERY BEND REQUIRED FOR THE INSTALLATION.
32. THIS DRAWING IS A GUIDE FOR THE INSTALLATION OF ELECTRICAL SERVICE. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE A FUNCTIONING SYSTEM.
33. ALL CABLES SHALL BE RUN WITHOUT SPLICES EXCEPT OTHERWISE INDICATED.
34. ALL PULL AND JUNCTION BOXES SHALL BE ACCESSIBLE AT ALL TIMES.
35. EXACT POINT AND METHODS OF CONNECTION SHALL BE DETERMINED IN FIELD.
36. ALL WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER.
37. ALL PANELBOARDS SHALL HAVE COPPER BUS AND BRANCH CIRCUIT BREAKERS SHALL BE OF THE BOLT-ON TYPE. PLUG-IN CIRCUIT BREAKERS WILL NOT BE ACCEPTED.
38. ALL RACEWAY ROUTED, INSULATED CONDUCTORS SYSTEM SHALL BE COLOR CODED AS FOLLOWS:

120/208V SYSTEM	
PHASE 'A'	BLACK
PHASE 'B'	RED
PHASE 'C'	BLUE
NEUTRAL	WHITE
GROUND	GREEN
39. SUBMIT DETAILED LAYOUT OF ALL MECHANICAL ROOMS WITH EQUIPMENT REQUIRING ELECTRICAL SERVICE. LAYOUT SHALL SHOW PROPOSED LOCATION OF ELECTRICAL SERVICE ITEMS SUCH AS DISCONNECTS, RELAYS, PANELBOARDS, ETC. AND DIMENSIONS SHOWING CODE CLEARANCES TO ADJACENT SURFACES.
40. ALL ROUGH-IN DIMENSIONS ARE TO CENTER LINE OF DEVICE UNLESS OTHERWISE NOTED.
41. ALL EXTERIOR SURFACE MOUNTED LUMINAIRES, POSTS, POST TOPS, POLES AND AREA LIGHTING LUMINAIRES TO HAVE FINISH COLOR TO MATCH ARCHITECTURAL WINDOW FRAME COLOR UNLESS OTHERWISE SPECIFICALLY NOTED.
42. ALL PULL BOXES, HAND HOLES AND MAN HOLES TO HAVE COVER PLATE BOLTED TO FRAME AND BONDED TO THE EQUIPMENT GROUND SYSTEM.
43. CONTRACTOR SHALL INCLUDE IN HIS BID ALL COSTS RELATED TO THE FBC WIND LOAD COMPLIANCE, THE CERTIFICATION OF THE EXTERIOR POLE/LUMINAIRE ASSEMBLIES BY A STRUCTURAL ENGINEER.
44. ALL CONDUCTOR SPLICES IN EXTERIOR LOCATED JUNCTION/PULL BOXES EXPOSED TO THE WEATHER TO BE WEATHER SEALED BY USING AN APPROVED METHOD SUCH AS 3M SCOTCHLOCK CONNECTOR EPOXY SEALING PACKS OR SIMILAR.
45. a) WHEN THERE IS CONFLICT AS TO OPTIONS TO PERFORM A GIVEN TASK CONTRACTOR SHALL CHOOSE THE MOST COSTLY IN NATURE IN ORIGINAL BID.
b) WHEN ITEMS ARE REQUIRED BY LOCAL OR NATIONAL CODES CONTRACTOR SHALL INCLUDE THEM WHETHER SHOWN ON THE DRAWINGS OR NOT.
46. CONTRACTOR TO PROVIDE 1/2" CONDUIT AND OUTLET BOX FOR ALL THERMOSTATS LOCATED IN THE A/C DRAWINGS. CONDUIT TO RUN FROM THERMOSTAT LOCATED TO RESPECTIVE A/C UNIT.
47. LUMINAIRES CONSISTING OF CONTINUOUS SECTIONS EITHER MECHANICALLY/ELECTRICALLY ATTACHED FROM FACTORY OR A ONE SOLID PIECE SHALL BE LENGTH AS SCALED. ANY DISCREPANCY BETWEEN THE LIGHTING FIXTURE SCHEDULE AND THE DRAWINGS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ORDERING.
48. ANY DISCREPANCY BETWEEN ANY OF THE LUMINAIRES CHARACTERISTICS, SUCH AS VOLTAGE, MOUNTING, NUMBER OF LAMPS, LOCATION RATING, ETC., AS INDICATED IN THE LIGHTING FIXTURE SCHEDULE AND AVAILABILITY MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ORDERING.
49. a) ALL 120/277V BRANCH CIRCUITS SHALL BE INSTALLED WITH INDIVIDUAL NEUTRAL CONDUCTORS PER PHASE UNLESS INSTALLED AS PER METHOD ON NOTE #59b.
b) IF MULTI-WIRE BRANCH CIRCUITS (TWO OR THREE POLE BRANCH CIRCUITS SHARING A COMMON NEUTRAL CONDUCTOR) ARE INSTALLED AT CONTRACTOR'S OPTION, ALL UNGROUNDED CONDUCTORS SHALL BE SIMULTANEOUSLY DISCONNECTED BY PROVIDING 2 POLE OR 3 POLE CIRCUIT BREAKER OR SINGLE POLE BREAKERS WITH APPROVED HANDLE TIES AS REQUIRED PER N.E.C. 210.4.

REVISIONS:

**KEY WEST CITY HALL
AT GLYNN ARCHER
1300 WHITE STREET
CITY OF KEY WEST
KEY WEST, FLORIDA**



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Project No. 1305
GENERAL NOTES
Date: 3/3/14

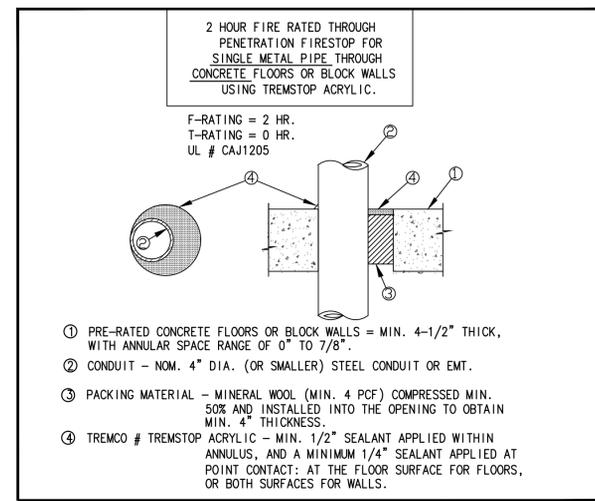
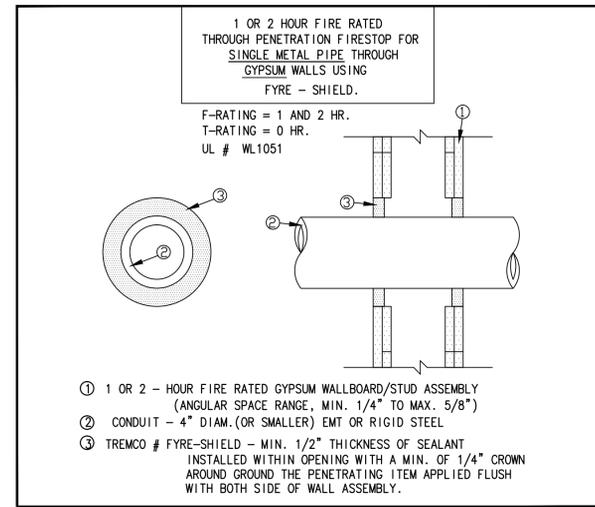
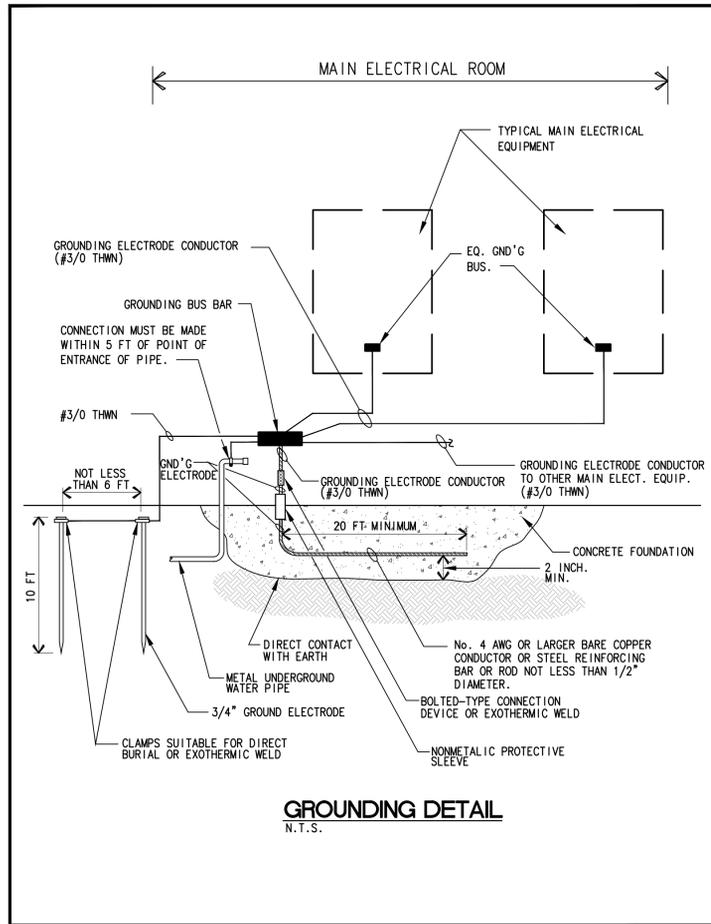
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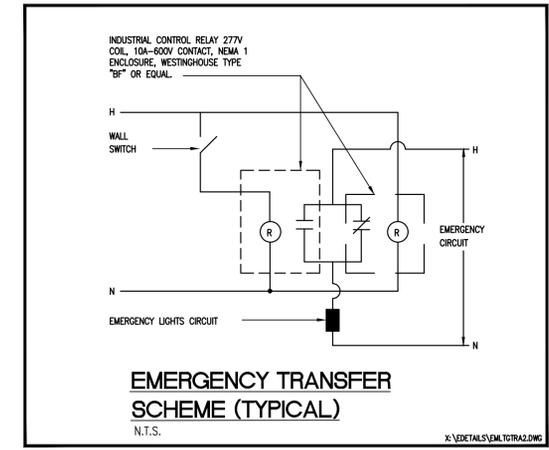
ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	FLUORESCENT FIXTURE
	FLUORESCENT FIXTURE, BARE STRIP
	INCANDESCENT FIXTURE, CEILING OR WALL MOUNTED.
	SINGLE-POLE TOGGLE SWITCH, 20A-125/277V, +48", SWITCH "a"
	THREE-WAY TOGGLE SWITCH, 20A-125/277V, +48"
	DIMMER SWITCH, 125V, +48"
	SINGLE POLE KEY TOGGLE SW. 20A, 125/277V, +48"
	DUPLEX RECEPTACLE OUTLET, 15A-125V, 3 WIRE, +18"
	JUNCTION BOX
	DENOTES ABOVE FINISHED FLOOR
	TELEPHONE/DATA OUTLET WALL MOUNTED, +18" (UNLESS OTHERWISE NOTED)
	MOTOR, SIZE AS INDICATED
	MOTOR STARTER OR CONTROLLER
	DISCONNECT SWITCH; 3-NUMBER OF POLES; 30-RATING; 20-FUSE SIZE; F-FUSE SIZE AS PER EQUIPMENT MANUFACTURER
	LIGHTING OR GENERAL PANELBOARD (FLUSH OR SURFACE AS SHOWN)
	DISTRIBUTION AND/OR POWER PANELBOARD OR GUTTER
	CONDUIT RUN CONCEALED IN WALL OR CEILING
	DENOTES "RAINTIGHT" EQUIPMENT
	DENOTES "WEATHER RESISTANT" EQUIPMENT
	DENOTES "WEATHERPROOF" EQUIPMENT
	DENOTES NIGHT LIGHT FIXTURE
	LIGHT FIXTURES WITH BATTERY PACK TO BE OPERATE ONE LAMP UNDER POWER FAILURE. LT FIXTURES SHALL BE WIRED AS A SWITCHABLE UNIT (CAN BE TURNED ON AND OFF). BATTERY TO BE CONNECTED AHEAD OF SWITCHING ARRANGEMENT IN ORDER TO KEEP BATTERY CHARGED.
	TV OUTLET WITH F CONNECTOR HEIGHT AS DENOTED ON PLAN.
	WALL MOUNTED TELEPHONE OUTLET, +54" AFF
	QUADRUPLEX RECEPTACLE OUTLET, 20A, 125V, 3W
	GROUND FAULT INTERRUPTER RECEPTACLE OUTLET 20A, 125V, 3W
	DENOTES CODED NOTE #1. SEE FLOOR PLANS
	EXIT LIGHT FIXTURE (CLG MTD) WITH BATTERY PACK. ARROWS & FACES AS INDICATED ON DWG
	EXIT LIGHT FIXTURE (WALL MTD) WITH BATTERY PACK. ARROWS AS INDICATED ON DWG
	RIGID GALVANIZED CONDUIT
	EMPTY CONDUIT
	SWITCH
	ABOVE FINISHED FLOOR
	CEILING
	DUPLEX RECEPTACLE OUTLET, ONE SIDE SWITCHED. 20A, - 125V, 3W, +18"
	DENOTES LIGHT FIXTURE TYPE AS CALLED FOR ON LG. FIXT. SCHED.
	DENOTES NEW EQUIPMENT
	DENOTES EXISTING EQUIPMENT
	DENOTES RELOCATED EQUIPMENT
	HIGH POWER FACTOR (98PF)
	UNLESS OTHERWISE NOTED.
	ISOLATED GROUND
	MOUNTED
	FIRE ALARM EQUIPMENT
	NEMA "3R" ENCLOSURE (RAINTIGHT)
	NATIONAL FIRE PROTECTION ASSOCIATION
	NOT IN CONTRACT
	MAIN LUG ONLY
	DISCONNECT SWITCH
	MAIN CIRCUIT BREAKER
	BACKBOARD
	TELEPHONE EQUIPMENT
	JUNCTION BOX
	TV EQUIPMENT
	NATIONAL ELECTRICAL CODE
	RECEPTACLE
	OVERHEAD TELEPHONE LINES
	OVERHEAD ELECTRICAL LINES
	UNDERGROUND ELECTRICAL/CONDUIT SERVICE FEEDERS
	UNDERGROUND TELEPHONE/CONDUIT SERVICE
	SINGLE RECEPTACLE OUTLET, 20A, 125V, +18" UNLESS OTHERWISE NOTED
	DENOTES BRANCH CIRCUIT HOME RUN. SHORT TICKS DENOTES NUMBER OF CIRCUITS, LONG TICK-NEUTRAL, IG-ISOLATED GROUND CONDUCTOR, G-GROUND CONDUCTOR
	FLEXIBLE CONDUIT
	20A, 125V, 3W ISOLATED GND DUPLEX RECEPTACLE (ORANGE)

LIGHTING CONTROLS - LEGEND

- WIRELESS CEILING MOUNTED OCCUPANCY SENSOR - LUTRON MODEL # LRF2-OCR2B-P-WH
- WIRELESS CEILING MOUNTED DAYLIGHT SENSOR - LUTRON MODEL # LRF2-DCRB-WH
- WIRELESS PICO (LIGHTS) WALL SWITCH - LUTRON MODEL # PJ-2B-GWH-101
- WIRELESS PICO (LIGHTS) WALL DIMMER - LUTRON MODEL # PJ-3BRL-GWH-101
- WIRELESS PICO (SHADES) CONTROL - LUTRON MODEL # PJ-3BRL-GWH-T02
- WALL KEYPAD - LUTRON MODEL # QSW2-5RLN-WH-EGN
- ENERGY SAVER NODE ECOSYSTEM - LUTRON MODEL # QSN-X-ECO-S
- ENERGY SAVER NODE SOFTSWITCH - LUTRON MODEL # QSN-4S16-S
- QS SHADE PANEL - LUTRON MODEL # QSPS-P1-10-60



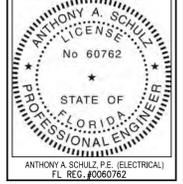
FIRE AND/OR SMOKE RATED WALL OR FLOOR PENETRATION DETAILS



DETAIL TO BE USED WHEN EMERGENCY LIGHTS ARE TO BE CONTROLLED BY INDEPENDENT LIGHT SWITCH FED BY NORMAL POWER. UPON LOSS OF NORMAL POWER, EMERGENCY LIGHTS SHALL COME ON AUTOMATICALLY REGARDLESS OF SWITCH POSITION

REVISIONS:

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Bender & Associates
ARCHITECTS
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Project No. 1305
LIGHTING FIXTURE SCHEDULE AND DETAILS
Date: 3/3/14

E0.1

60% CONSTRUCTION DOCUMENTS



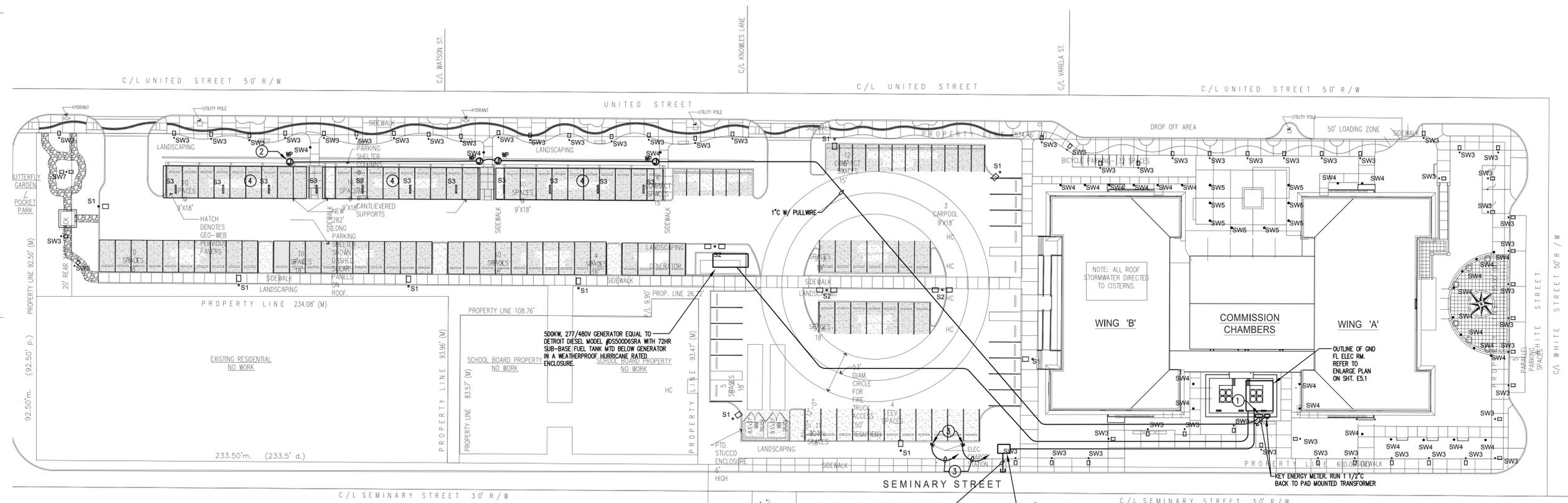
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Project No. 1305
ELECTRICAL
SITE PLAN
Date: 3/3/14

- NOTES**
- 1 SOLAR POWER INVERTER EQUIPMENT.
 - 2 J.BOX FOR SOLAR POWER CABLING MTD AT BASE OF POLE.
 - 3 ELECTRIC CAR CHARGING STATION ON PROVIDE 1" C TO MAIN ELECTRICAL ROOM.
 - 4 SOLAR PANELS TO BE MOUNTED ON THE ROOF OF THE PARKING CANOPIES.

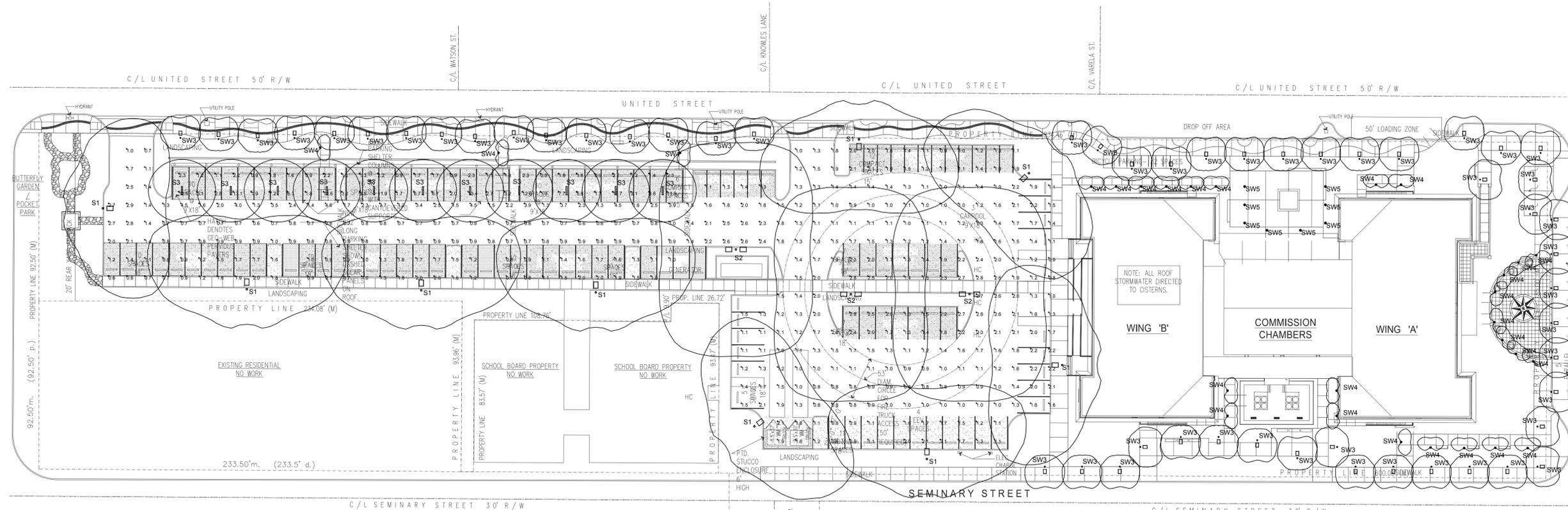


1 ELECTRICAL SITE PLAN
A1.1 1" = 30'-0"



LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
□	S1	9	SOLARPATH ESTREMA45 45 LED III MOUNTED 25' AFG ON POLE	SINGLE SOLAR POWERED LED LUMINAIRE ON POLE	(1) ESTREMA45 45@700mA III	6480	0.85	115
□	S2	3	SOLARPATH ESTREMA45 45 LED III MOUNTED 25' AFG ON POLE	DOUBLE SOLAR POWERED LED LUMINAIRE ON POLE	92) ESTREMA45 45@700mA III	6480	0.85	230
	S3	11	LITHONIA VAP 39LED SYM SURFACE MOUNTED 7.8' AFF UNDER CANOPY	39W LED ARCHWAY? PASSAGE? POLYCARBONATE ENCLOSURE WITH SYMMETRIC OPTICAL DIFFUSER, 4100K	ONE 39.8-WATT LED, AIMED DOWN POS.	Absolute	0.85	39.8
□	SW3	54	SOLAR PATH SUNBOX SB MOUNTED 14" AFG ON POLE	50% SUNBOX SB 18@400mA	LED	1012	0.85	14
⊙	SW4	28	FIRST LIGHT TECHNOLOGIES PLB Series MOD#: PLB-102-ASM MOUNTED ON GROUND AS SHOWN IN DWGS.	INTEGRATED SOLAR POWERED LED PATHWAY BOLLARD	CREE LED	Absolute	0.85	1.9
⊙	SW5	8	FIRST LIGHT TECHNOLOGIES PLB Series MOD#: PLB-102-SYM MOUNTED ON GROUND AS SHOWN IN DWGS.	INTEGRATED SOLAR POWERED LED PATHWAY BOLLARD	CREE LED	35	0.85	1

STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min
COVERED PARKING	+	3.9 fc	13.4 fc	0.9 fc	14.9:1
PARKING AREA	+	1.5 fc	4.6 fc	0.6 fc	7.7:1
STREET PARKING	+	1.3 fc	1.6 fc	0.9 fc	1.8:1



1 ELECTRICAL SITE LIGHTING PHOTOMETRIC PLAN 1" = 30'-0"

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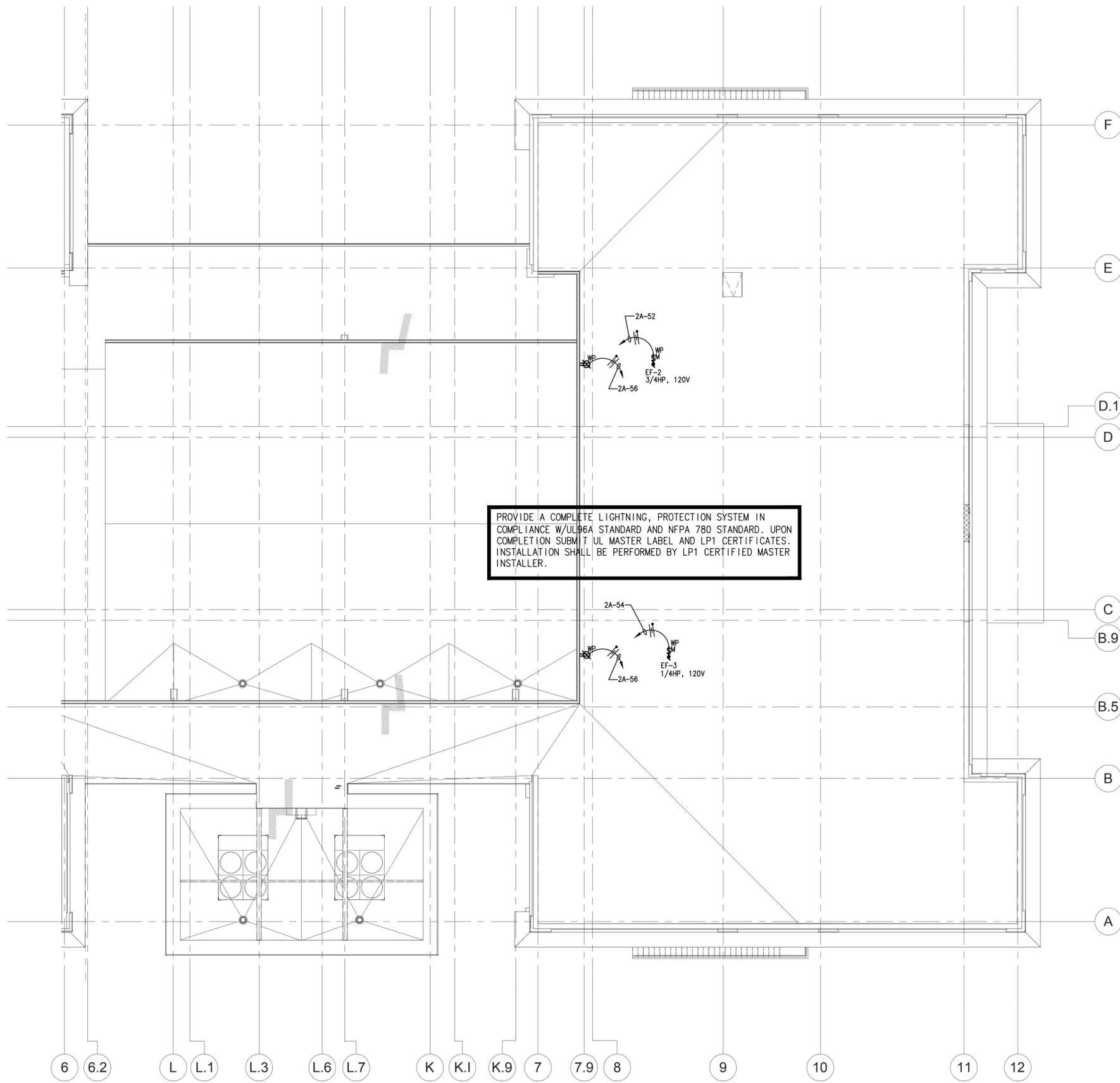
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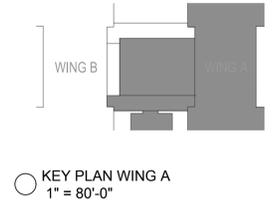
Project No. 1305
 ELECTRICAL SITE LIGHTING PHOTOMETRIC PLAN
 Date: 3/3/14

E1.1P

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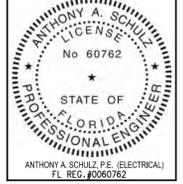


1 ROOF ELECTRICAL PLAN - WING A
E3.1A
1/8" = 1'-0"



REVISIONS:

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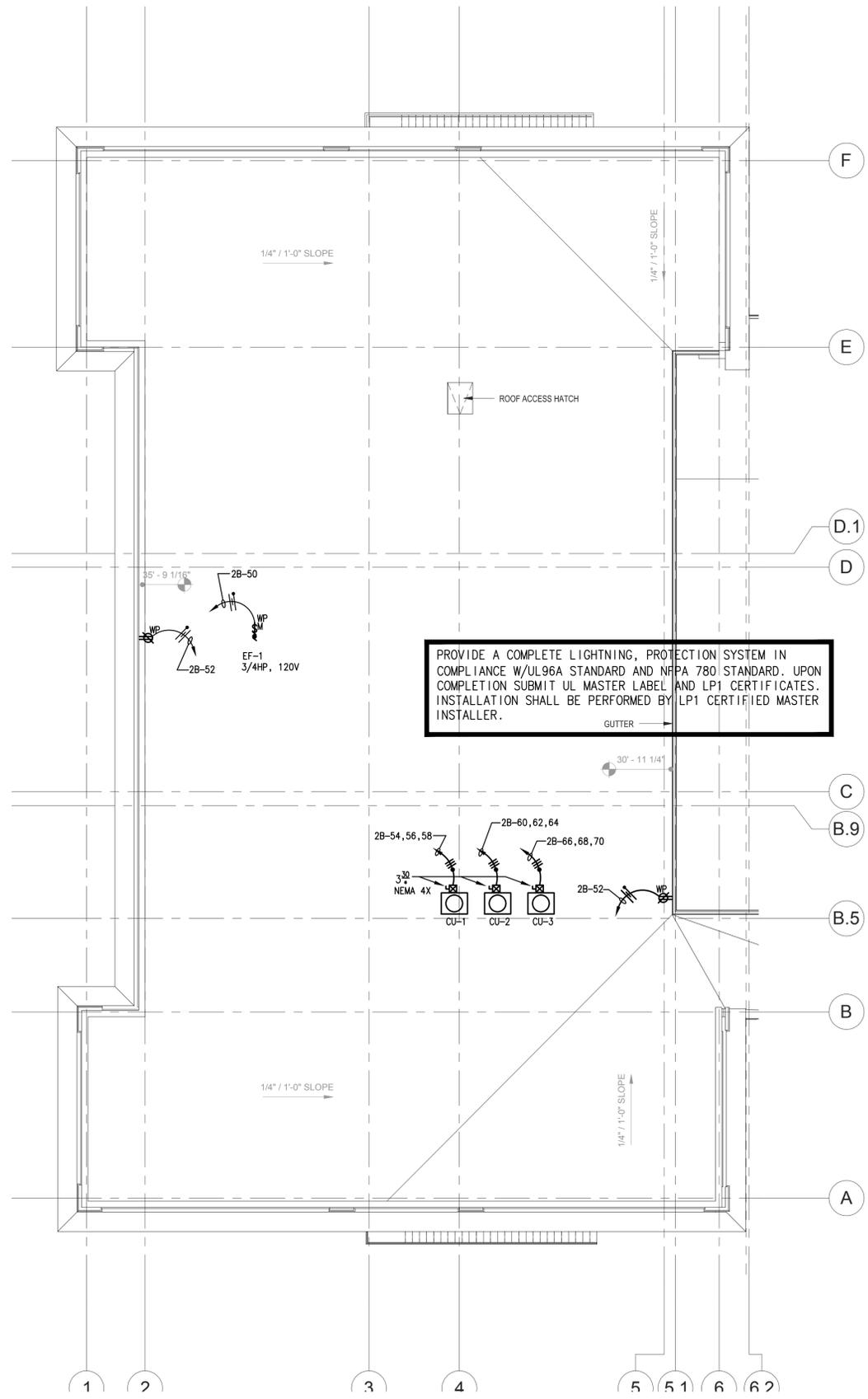
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Project No. 1305
ROOF ELECTRICAL
PLAN - WING A
Date: 3/3/14

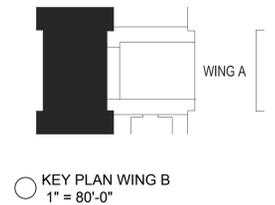
E3.1A

60% CONSTRUCTION DOCUMENTS



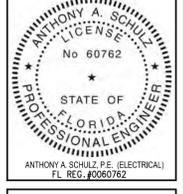
PROVIDE A COMPLETE LIGHTNING PROTECTION SYSTEM IN COMPLIANCE W/UL96A STANDARD AND NFPA 780 STANDARD. UPON COMPLETION SUBMIT UL MASTER LABEL AND LP1 CERTIFICATES. INSTALLATION SHALL BE PERFORMED BY LP1 CERTIFIED MASTER INSTALLER.

1 ROOF ELECTRICAL PLAN - WING B
E3.1B
1/8" = 1'-0"



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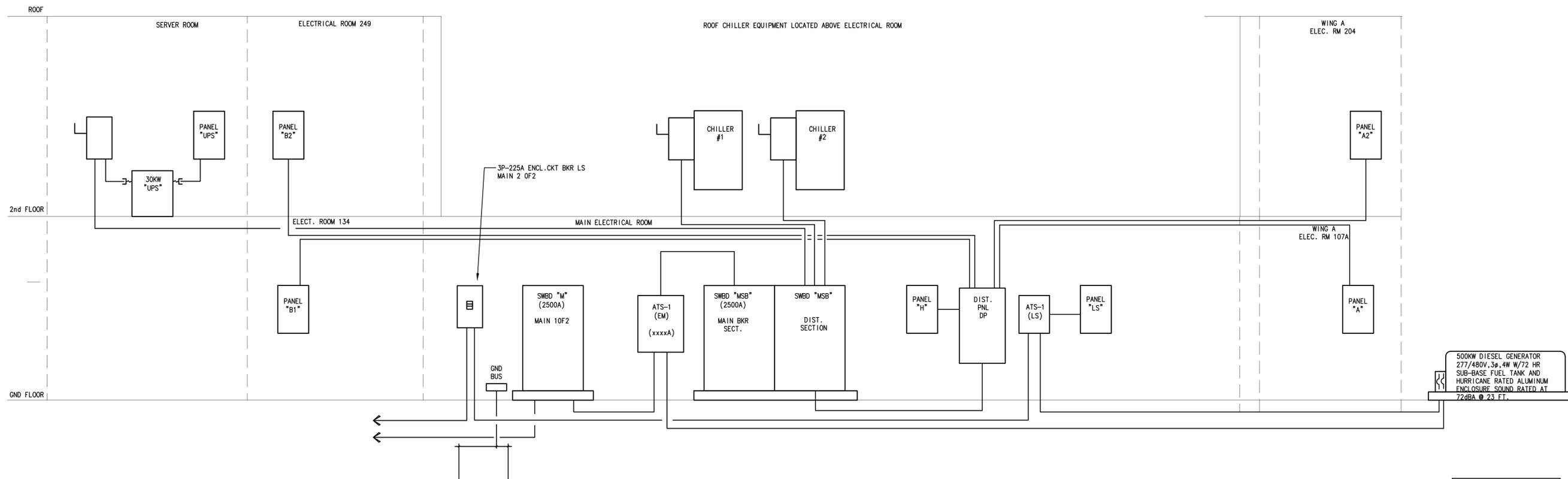
Project No. 1305
ROOF ELECTRICAL PLAN - WING B
Date: 3/3/14

E3.1B

60% CONSTRUCTION DOCUMENTS

COPPER FEEDER SCHEDULE																	
AMPERE RATING	FEEDER DESIGN	3PH, 4W, (A)				3PH, 3W, (B)				1PH, 3W, (C)				1PH, 2W, (D)			
		RUNS	C	CONDUCTORS	G	RUNS	C	CONDUCTORS	G	RUNS	C	CONDUCTORS	G	RUNS	C	CONDUCTORS	G
20	0.2	1	1/2	4#12	12	1	1/2	3#12	12	1	1/2	3#12	12	1	1/2	2#12	12
30	0.3	1	3/4	4#10	10	1	1/2	3#10	10	1	1/2	3#10	10	1	1/2	2#10	10
40	0.4	1	1	4#8	10	1	3/4	3#8	10	1	3/4	3#8	10	1	3/4	2#8	10
50	0.5	1	1-1/4	4#6	10	1	1	3#6	10	1	1	3#6	10	1	1	2#6	10
60	0.6	1	1-1/4	4#6	10	1	1	3#6	10	1	1	3#6	10	1	1	2#6	10
70	0.7	1	1-1/4	4#4	8	1	1-1/4	3#4	8	1	1-1/4	3#4	8	1	1	2#4	8
80	0.8	1	1-1/2	4#3	8	1	1-1/4	3#3	8	1	1-1/4	3#3	8	1	1-1/4	2#3	8
90	0.9	1	1-1/2	4#3	8	1	1-1/4	3#3	8	1	1-1/4	3#3	8	1	1-1/4	2#3	8
100	1	1	1-1/2	4#2	8	1	1-1/4	3#2	8	1	1-1/4	3#2	8	1	1-1/4	2#2	8
125	1.2	1	2	4#1	6	1	1-1/2	3#1	6	1	1-1/2	3#1	6	1	1-1/2	2#1	6
150	1.5	1	2	4#1/0	6	1	2	3#1/0	6	1	2	3#1/0	6	1	1-1/2	2#1/0	6
175	1.7	1	2	4#2/0	6	1	2	3#2/0	6	1	2	3#2/0	6	1	1-1/2	2#2/0	6
200	2	1	2-1/2	4#3/0	6	1	2	3#3/0	6	1	2	3#3/0	6	1	2	2#3/0	6
225	2.2	1	2-1/2	4#4/0	4	1	2-1/2	3#4/0	4	1	2-1/2	3#4/0	4	1	2	2#4/0	4
250	2.5	1	3	4#250MCM	4	1	2-1/2	3#250MCM	4	1	2-1/2	3#250MCM	4	1	2-1/2	2#250MCM	4
300	3	1	3	4#350MCM	4	1	3	3#350MCM	4	1	3	3#350MCM	4	1	2-1/2	2#350MCM	4
350	3.5	1	3-1/2	4#400MCM	3	1	3	3#400MCM	3	1	3	3#400MCM	3	1	3	3#400MCM	3
400	4	1	3-1/2	4#500MCM	3	1	3-1/2	3#500MCM	3	1	3-1/2	3#500MCM	3	1	3	3#500MCM	3
500	5	2	3	4#250MCM	2	2	2-1/2	3#250MCM	2	2	2-1/2	3#250MCM	2	--	--	--	--
600	6	2	3	4#350MCM	1	2	3	3#350MCM	1	2	3	3#350MCM	1	--	--	--	--
700	7	2	3-1/2	4#500MCM	1/0	2	3-1/2	3#500MCM	1/0	2	3-1/2	3#500MCM	1/0	--	--	--	--
800	8	3	3	4#300MCM	1/0	3	3	3#300MCM	1/0	3	3	3#300MCM	1/0	--	--	--	--
900	9	3	3	4#350MCM	2/0	3	3	3#350MCM	2/0	3	3	3#350MCM	2/0	--	--	--	--
1000	10	3	3-1/2	4#400MCM	2/0	3	3	3#400MCM	2/0	3	3	3#400MCM	2/0	--	--	--	--
1100	11	3	3-1/2	4#500MCM	3/0	3	3-1/2	3#500MCM	3/0	3	3-1/2	3#500MCM	3/0	--	--	--	--
1200	12	4	3	4#350MCM	3/0	4	3	3#350MCM	3/0	4	3	3#350MCM	3/0	--	--	--	--
1600	16	4	4	4#600MCM	4/0	5	3	3#400MCM	4/0	5	3	3#400MCM	4/0	--	--	--	--
3000	30	7	3-1/2	4#600MCM	400	--	--	--	--	--	--	--	--	--	--	--	--
2000	20	5	3-1/2	4#600MCM	250	--	--	--	--	--	--	--	--	--	--	--	--
2500	25	6	3-1/2	4#600MCM	350	--	--	--	--	--	--	--	--	--	--	--	--

NOTE: FEEDER DESIGNATION CONSISTS OF NUMBER AND LETTER EXAMPLE: [0.7A] CONSISTS OF 3PH 4W FEEDER RATED @ 70A; [0.7B] CONSISTS OF 3PH, 3W FEEDER RATED @70A.



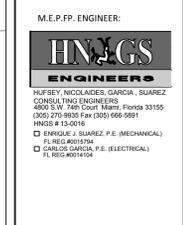
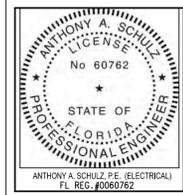
POWER RISER DIAGRAM
N.T.S.

PROVIDE PRICING FOR A 7000 GAL UNDERGROUND TANK BASED ON 7 DAY FUEL SUPPLY AS A BID ALTERNATE.

REVISIONS:

**KEY WEST CITY HALL
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KEY WEST, FLORIDA



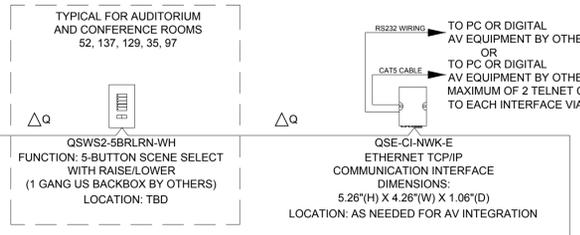
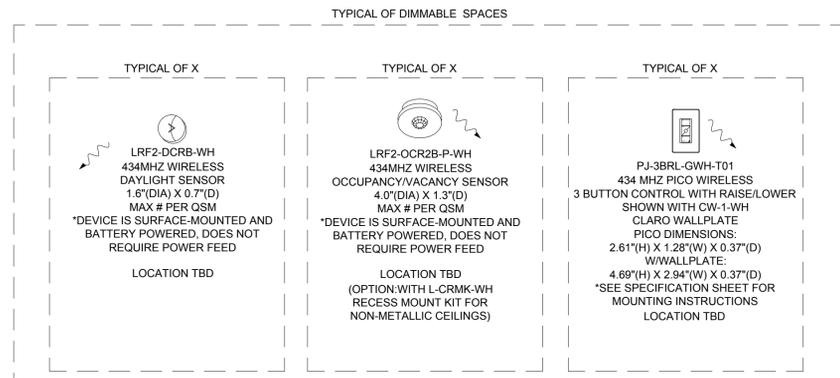
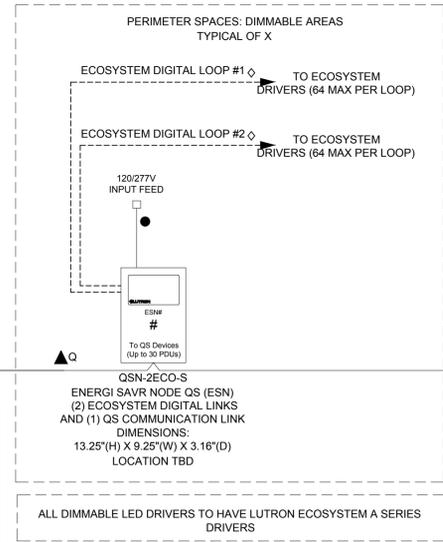
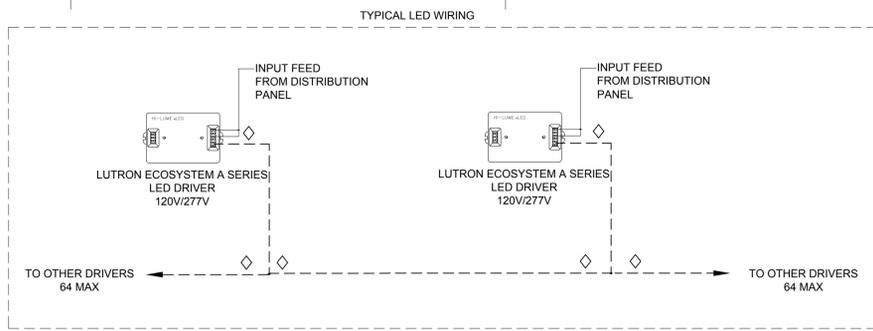
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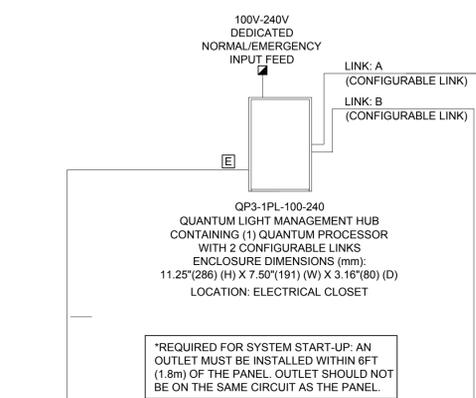
Project No. 1305
POWER RISER DIAGRAM
Date: 3/3/14

E6.1

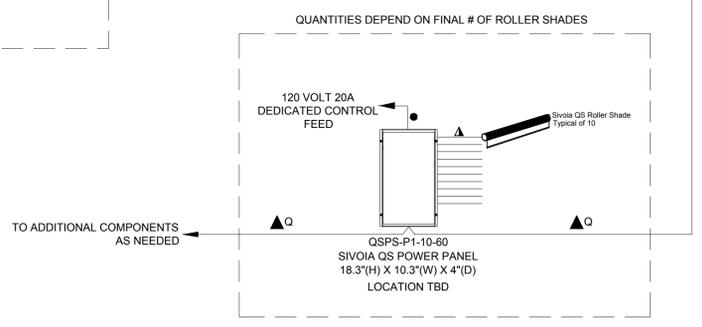
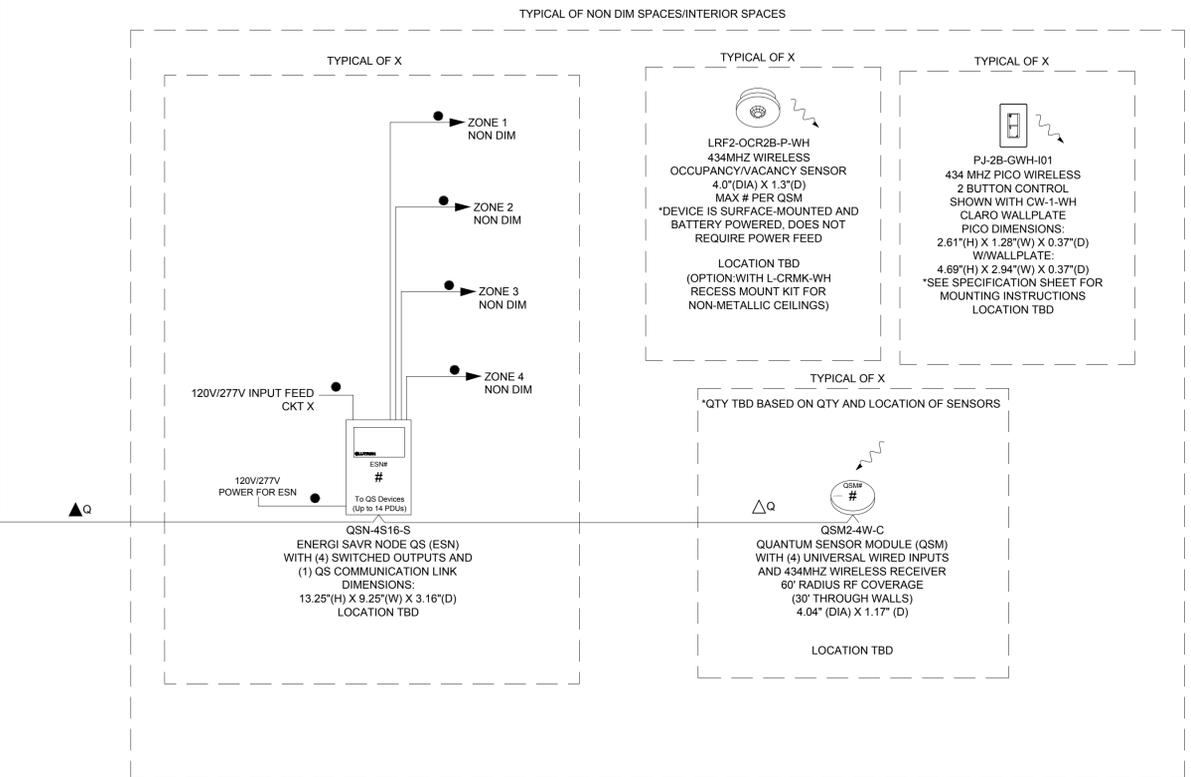
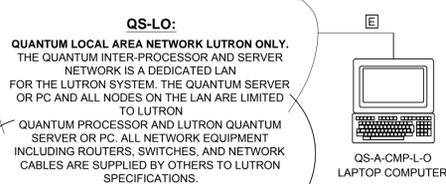
60% CONSTRUCTION DOCUMENTS



- WIRING LEGEND:**
- ▽ P LUTRON CABLE GRX-CBL-46L (5 CONDUCTOR NON-PLENUM) OR GRX-PCBL-46L (5 CONDUCTOR PLENUM RATED). OTHERWISE USE 2 #12 AWG (4 mm²), 1 BELDEN #9461 AND BETWEEN PANELS ADD 1 #18 AWG (1.0 mm²) FOR EMERGENCY SENSING CABLE BY OTHERS.
 - INPUT POWER (NORMAL)
 - INPUT POWER (NORMAL-EMERGENCY)
 - 2 #12AWG (4 mm²)
 - 3 #12AWG (4 mm²)
 - ◇ ECOSYSTEM BUS/LOOP: LUTRON CABLE C-CBL-216-GR-1 (2 #16 CONDUCTOR NON-PLENUM) OR C-PCBL-216-CL-1 (2 #16 CONDUCTOR PLENUM RATED). OTHERWISE USE 2 #16 AWG (1.5 mm²) BY OTHERS.
 - ◆ DALI LINK
 - ~ 1-WAY RF COMMUNICATION
 - ~ 2-WAY RF COMMUNICATION



*REQUIRED FOR SYSTEM START-UP: AN OUTLET MUST BE INSTALLED WITHIN 6FT (1.8m) OF THE PANEL. OUTLET SHOULD NOT BE ON THE SAME CIRCUIT AS THE PANEL.



LUTRON LIGHTING CONTROL RISER DIAGRAM

N.T.S.

THE LIGHTING CONTROL SYSTEM BASIS OF DESIGN IS LUTRON'S QUANTUM TOTAL LIGHT MANAGEMENT. ALL AREAS, INCLUDING ALL PERIMETER DIMMABLE SPACES AND INTERIOR SPACES DIMMABLE AND NON-DIM, SHALL BE CONTROLLED BY THE SYSTEM. THE SYSTEM INCLUDES DAYLIGHT SENSORS, OCCUPANCY SENSORS, WIRELESS WALL CONTROLS, MOTORIZED SHADES, WALL KEYPADS FOR LIGHTING AND SHADES AND AV INTERFACES.

ALL DIMMABLE LED DRIVERS TO HAVE LUTRON ECOSYSTEM A SERIES DRIVERS

ARCHITECT TO VERIFY QUANTITY, LOCATION & FINISH OF ALL CONTROLS.

Concept Drawing Notes:
Control system drawing is provided for conceptual purposes only and is not intended for construction. Exact equipment requirements, including locations and quantities, should be verified in accordance with the most up-to-date lighting/electrical reflected ceiling plans, lighting fixture schedules, panel schedules, control intent and specifications. Shade equipment should be verified in accordance with architectural plans, specifications and window schedules/details.

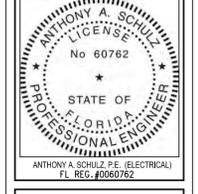
TOTAL CONTROL LINK LENGTH	Wire Gauge	AVAILABLE FROM LUTRON IN ONE CABLE:
LESS THAN 500ft (153 m)	POWER (TERMINALS 1&2): 1 PAIR 18 AWG (1.0 mm ²)	GRX-CBL-346S OR GRX-PCBL-346S
	DATA (TERMINALS 3&4): 1 PAIR 22 AWG (0.5 mm ²), TWISTED AND SHIELDED*	
500ft (153 m) TO 2,000ft (600 m)**	POWER (TERMINALS 1&2): 1 PAIR 12 AWG (4 mm ²)	GRX-CBL-46L OR GRX-PCBL-46L
	DATA (TERMINALS 3&4): 1 PAIR 22 AWG (0.5 mm ²), TWISTED AND SHIELDED*	

*ALTERNATE DATA-ONLY CABLE: USE APPROVED DATA LINK CABLE (22 AWG [0.5 mm²] TWISTED/SHIELDED) FROM BELDEN (MODEL # 9461).

**TOTAL LENGTH OF THE QS LINK MUST NOT EXCEED 2,000 ft (600 m).

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Project No. 1305
DIMMING AND SHADE CONTROL RISER DIAGRAM
Date: 3/3/14

E6.3

60% CONSTRUCTION DOCUMENTS

GENERAL FIRE SPRINKLER NOTES

- THE ENTIRE SPACE SHALL BE FIRE SPRINKLERED IN ACCORDANCE WITH NFPA 13-2007, FLORIDA FIRE PREVENTION CODE 2010 AND OWNER'S INSURANCE UNDERWRITERS.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE ENTIRE SYSTEM. HYDRAULIC CALCULATIONS AND SPRINKLER HANGERS WILL BE SHOWN ON FIRE SPRINKLER SHOP DRAWINGS AS REQUIRED BY THE CITY OF MIAMI FIRE DEPT & NFPA. SPRINKLER SPACING SHALL COMPLY WITH CHAPTER 8 SECTIONS 8.5.3, 8.7.3, 8.8.3 AND 8.9.3 OF NFPA-13 2007 EDITION.
- CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ALL PIPING AND SPRINKLER HEADS WITH OTHER TRADES. ALL DUCTWORK AND OBSTRUCTIONS WIDER THAN 4'-0" WILL BE PROVIDED WITH ADDITIONAL FIRE SPRINKLER UNDERNEATH, IN ACCORDANCE WITH SECTION 8.5.5.3.1 OF NFPA-13 2007 EDITION.
- CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH OTHER TRADES AND FIELD CONDITIONS, AND ARCHITECT'S REFLECTED CEILING PLANS.
- HAZARD CLASSIFICATION SHALL BE LIGHT HAZARD WITH A DESIGN DENSITY OF 0.10 GPM/1500 SQ. FT FOR THE BUILDING, ORDINARY HAZARD GROUP I WITH A DESIGN DENSITY 0.15 GPM/1500 SQ.FT FOR THE PARKING GARAGE AND ORDINARY HAZARD GROUP II WITH A DESIGN DENSITY 0.20 GPM/1500 SQ.FT FOR THE RETAIL SPACES AND LOADING DOCK.
- PIPING SHALL BE BLACK STEEL. USE SCHEDULE 40 FOR 2" AND SMALLER. PIPING EXPOSED TO WEATHER SHALL BE GALVANIZED STEEL. ALL STANDPIPE PIPING SHALL BE RATED FOR 350 PSIG MINIMUM PRESSURE.
- PIPING 2" AND SMALLER SHALL BE THREADED. ALL OTHER PIPING THREADED OR GROOVED ENDS FOR MECHANICAL COUPLINGS.
- CENTER SPRINKLER HEADS WHEN LOCATED ON 2 x 2 ACOUSTICAL TILES.
- PROVIDE HANGERS PER NFPA 13.
- ALL HEADS SHALL BE SPACED PER NFPA 13 AND MANUFACTURER'S RECOMMENDATIONS.
- ALL COMPONENTS SHALL BE MANUFACTURED IN U.S.A. ALL SPRINKLER HEADS, VALVES AND SHALL BE SWITCHES U. L. AND F. M. APPROVED.
- FIRE DEPARTMENT CONNECTIONS AT STANDPIPES WITHIN STAIR ENCLOSURES AND AT FIRE VALVE CABINETS SHALL BE 2 1/2" ANGLE TYPE WITH 1 1/2" REDUCER, CAP AND CHAIN. THREADS FOR 1 1/2" CONNECTION SHALL BE IN ACCORDANCE WITH CITY OF MIAMI FIRE DEPARTMENT STANDARD. AT LOCATIONS WHERE MAXIMUM SYSTEM PRESSURES EXCEED 150 PSI, PROVIDE PRESSURE REGULATING TYPE VALVE SET AT 150 PSI OUTPUT.
- VALVES:
 *ANGLE VALVES- 300LBS MINIMUM WORKING PRESSURE
 *PRESSURE RESTRICTING ANGLE VALVE- 300LBS MINIMUM WORKING PRESSURE
 *AUTOMATIC PRESSURE CONTROL VALVES- 400LBS MINIMUM WORKING PRESSURE
 *O. S. & Y. VALVES- 300LBS MINIMUM WORKING PRESSURE
 *CHECK VALVES- 300LBS MINIMUM WORKING PRESSURE
 *CONTRACTOR SHALL ADJUST ALL PRV'S TO COMPLY WITH CITY OF MIAMI FIRE DEPARTMENT PRESSURE REQUIREMENTS.
- CPVC B.F. GOODRICH BLAZEMASTER U.L. AND F.M. APPROVED PIPING AND FITTINGS WILL BE ALLOWED IN LIGHT HAZARD RESIDENTIAL AREAS AFTER ZONE SHUT-OFF VALVE FLOW SWITCH ASSEMBLY. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATION.
- THE USE OF REVIT DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS COORDINATION RESPONSIBILITY, NOR EQUIPMENT QUANTITIES OR/INSTALLATION METHODOLOGY. THESE DOCUMENTS ARE DIAGRAMMATIC AND ALL SPECIFICATION SECTION 15010 REQUIREMENTS APPLY.
- CONTRACTOR SHALL PROVIDE SPRINKLER HEAD AT ALL BATHROOMS OF 55 SF OR MORE ACCORDING TO NFPA 13 SECTION 8.15.8, 2007 EDITION.

GENERAL NOTE

ALL VALVES ARE TO BE LABELED BY THE SPRINKLER CONTRACTOR. HYDRANTS, F.D.C. AND SIAMESE CONNECTIONS SHALL NOT HAVE OBSTRUCTIONS OR LANDSCAPING THAT WILL INTERFERE WITH OPERATIONS OF CONNECTIONS.

NOTES:

- THE ASSEMBLY SHALL BE INSTALLED WITH MINIMUM HORIZONTAL CLEARANCES OF 30 INCHES FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.
- GUARD POSTS SHALL BE INSTALLED IF THE ASSEMBLY IS EXPOSED TO POSSIBLE DAMAGE FROM VEHICULAR TRAFFIC, AS DETERMINED BY THE DEPARTMENT, OR THE WASD INSPECTOR.
- THE ASSEMBLY SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION, APPROVED BY THE DEPARTMENT AND THE WASD INSPECTOR.
- ALL JOINTS SHALL BE FLANGED OR RESTRAINED IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- ALL ABOVE GROUND PIPING AND EQUIPMENT SHALL BE FINISHED WITH RED ENAMEL PAINT (KOP-COAT 508 LEAD-FREE), IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- THE DEPARTMENT WILL PROVIDE CHAINS AND LOCKS FOR GATE VALVES.
- FOR RETROFIT PROJECTS, REPLACE THE EXISTING BACKFLOW PREVENTION DEVICE WITH A SPOOL PIECE, AND INSTALL A NEW DOUBLE DETECTOR CHECK VALVE ASSEMBLY INSIDE OF PROPERTY LINE.
- ADJUSTABLE PIPE SADDLE (GRINNELL FIG. 264, OR EQUAL) SIZED TO FIT CURVATURE OF DOUBLE DETECTOR CHECK VALVE ASSEMBLY, WITH GALVANIZED STEEL PIPE AND FLOOR FLANGE. ATTACH FLOOR FLANGE TO CONCRETE SLAB WITH GALVANIZED EXPANSION BOLTS.
- THE DEPARTMENT SHALL HAVE UNRESTRICTED AND CONTINUOUS ACCESS TO THE DOUBLE DETECTOR CHECK VALVE ASSEMBLY.
- PIPING SHALL BE DUCTILE IRON PIPE WITH FLANGED FITTINGS, IN ACCORDANCE WITH WASAD "CONSTRUCTION SPECIFICATIONS FOR DONATION OF WATER MAINS."

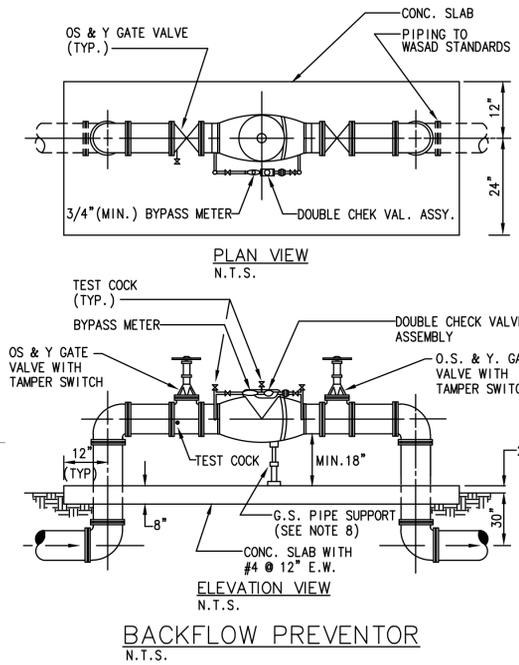


Table 9.2.2.1 Maximum Distance Between Hangers (ft-in.)

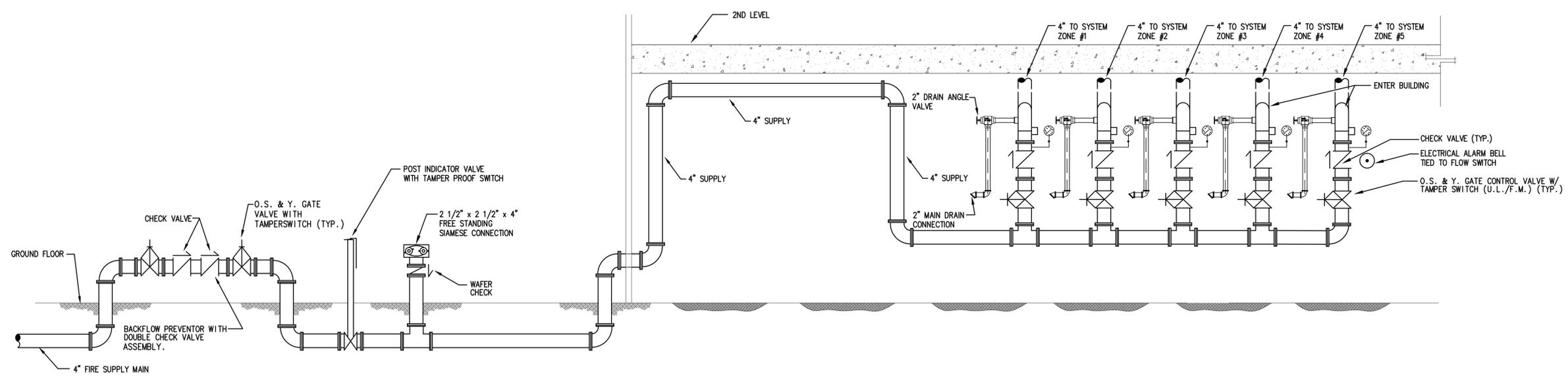
	Nominal Pipe Size (in.)											
	3/4	1	1 1/4	1 1/2	2	2 1/2	3	3 1/2	4	5	6	8
Steel pipe except threaded lightwall	N/A	12-0	12-0	15-0	15-0	15-0	15-0	15-0	15-0	15-0	15-0	15-0
Threaded lightwall steel pipe	N/A	12-0	12-0	12-0	12-0	12-0	12-0	N/A	N/A	N/A	N/A	N/A
Copper tube	8-0	8-0	10-0	10-0	12-0	12-0	12-0	15-0	15-0	15-0	15-0	15-0
CPVC	5-6	6-0	6-6	7-0	8-0	9-0	10-0	N/A	N/A	N/A	N/A	N/A
Polybutylene (IPS)	N/A	3-9	4-7	5-0	5-11	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Polybutylene (CTS)	2-11	3-4	3-11	4-5	5-5	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Ductile iron pipe	N/A	N/A	N/A	N/A	N/A	N/A	15-0	N/A	15-0	N/A	15-0	15-0

For SI units, 1 in. = 25.4 mm; 1 ft = 0.3048 m.
Note: IPS iron — pipe size; CTS — copper tube size.

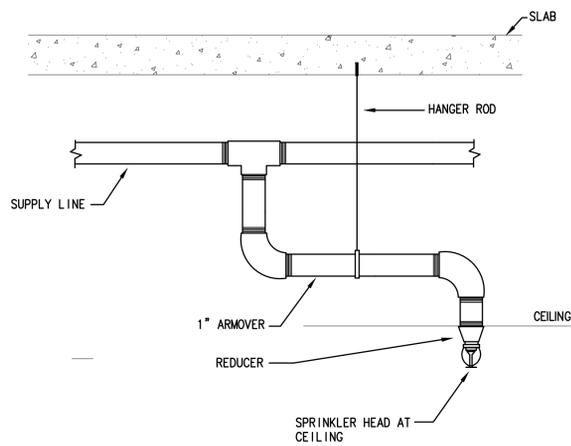
SPRINKLER HEAD LEGEND							
MARK	TYPE	FINISH	MANUFACTURER	ORIFICE	TEMP.	K	REMARKS
◁	SIDEWALL	WHITE	TYCO TY-FRB (TY3332)	1/2"	155°	5.6	QUICK RESP./EXT. THROW
•	PENDENT/UPRIGHT	BRASS	TYCO TY-FRB (TY3231/TY3131)	1/2"	155°	5.6	QUICK RESP. (PUBLIC AREAS)
⊙	CONCEALED PENDENT	WHITE	TYCO TY-RF11 (TY3531)	1/2"	155°	5.6	QUICK RESP. (PUBLIC AREAS)
◁	SIDEWALL	WHITE	TYCO TY-FRB (TY3331)	1/2"	155°	5.6	QUICK RESP. (PUBLIC AREAS)
◁	SIDEWALL	BRASS	TYCO TY-FRB (TY3331)	1/2"	200°	5.6	QUICK RESP. (ELEVATOR SHAFT)
•	PENDENT/UPRIGHT	BRASS	TYCO TY-FRB (TY3231/TY3131)	1/2"	286°	5.6	QUICK RESP.

NOTES:

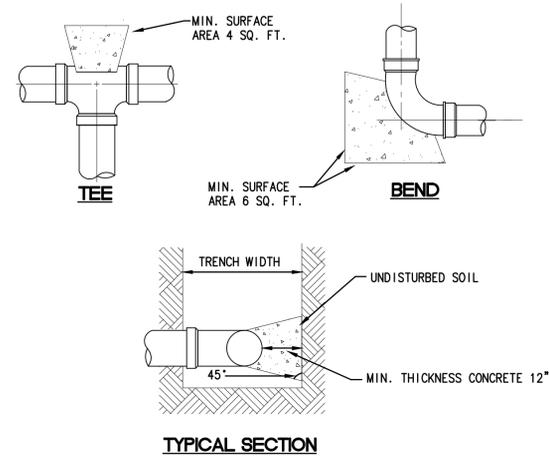
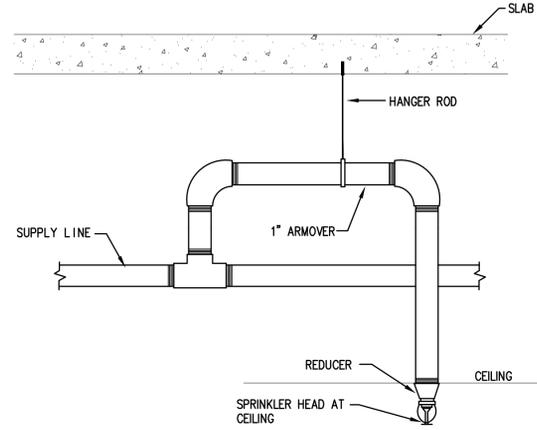
- TEE'S SHALL BE MINIMUM 1" WITH REDUCING BUSHING AT HEADS.
- SPRINKLERS AT EXTERIOR COVERED PATIOS, PORTE COCHERE AND WALKWAYS SHALL BE NICKEL TEFLON COATED OR OTHER APPROVED CORROSION INHIBITING FINISH.



FIRE LINE VALVE ASSEMBLY DETAIL
N.T.S.



TYPICAL ARMOVERT DETAIL
N.T.S.

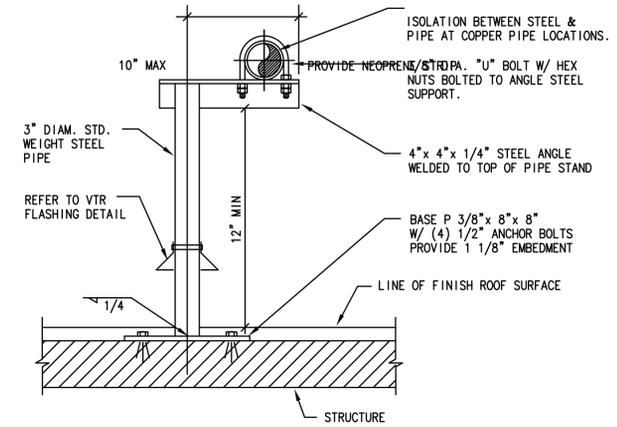


TYPICAL SECTION

NOTES:

1. THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED SOIL.
2. CONCRETE SHALL NOT BE POURED ON JOINTS OR BOLTS. PROVIDE PLASTIC SHEATHING AT THESE LOCATIONS TO ENSURE THEIR ISOLATION.
3. CONCRETE SHALL BE 2500 PSI
4. SOIL BEARING AREAS SHOWN ARE BASED ON SOIL BEARING PRESSURE OF 1000 LBS/SQ. FT. IF CONDITIONS PROVE LESS, INCREASE SURFACE AREA PROPORTIONATELY.

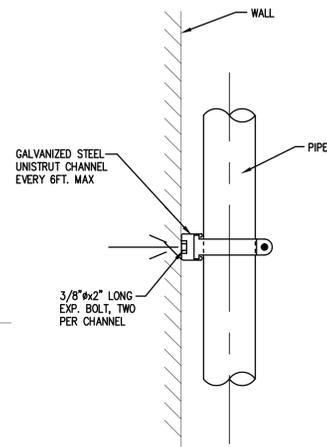
THRUST BLOCK DETAILS
N.T.S.



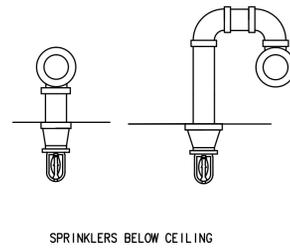
NOTE:

1. ALL STEEL TO BE HOT DIPPED GALVANIZED *AFTER* FABRICATION/CUTTING.
2. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.
3. MAXIMUM STAND SPACING TO BE 6'-0"

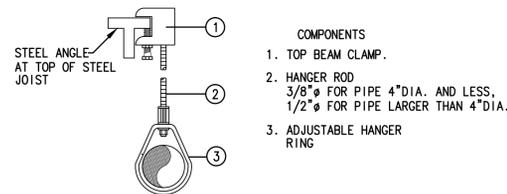
FIRE PROTECTION PIPE ROOF SUPPORT DETAIL
N.T.S.



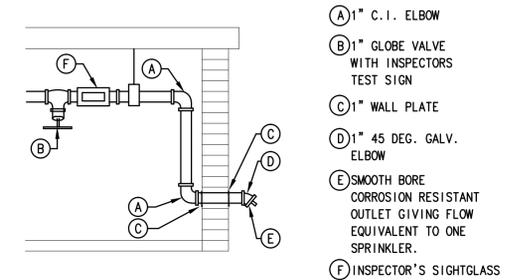
WALL MOUNTED DETAIL
N.T.S.



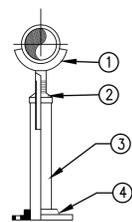
SPRINKLERS AT SUSPENDED CEILING
N.T.S.



HANGER DETAIL
N.T.S.



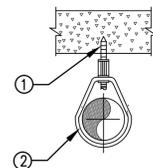
REMOTE INSPECTORS TEST ASSEMBLY DETAILS
N.T.S.



FLOOR MOUNTED PIPE SUPPORT DETAIL
N.T.S.

COMPONENTS

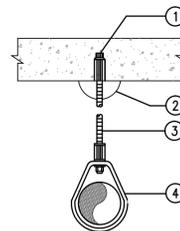
1. PIPE SADDLE SUBASSEMBLY (STEEL)
2. SPECIAL REDUCER (2" NPT X 1 1/2"-11 1/2 NPSM-M.I.)
3. PIPE (2" STEEL)
4. COMPANION FLANGE (2" X 6" D.I.) ATTACHED TO CONCRETE FLOOR WITH EXPANSION BOLTS.



HANGER DETAIL-BRANCH LINES
N.T.S.

COMPONENTS

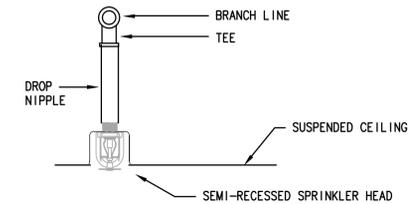
1. POWDER-DRIVEN STUD
2. ADJUSTABLE HANGER RING



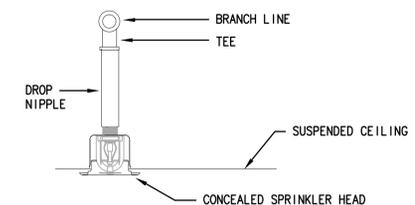
HANGER DETAIL
N.T.S.

COMPONENTS

1. DROP-IN ANCHOR
2. SPRING CLIP CEILING PLATE (OPTIONAL)
3. HANGER ROD 3/8" FOR PIPE 4" DIA. AND LESS, 1/2" FOR PIPE LARGER THAN 4" DIA.
4. ADJUSTABLE HANGER RING



SEMI-RECESSED SPRINKLER DETAIL
N.T.S.



CONCEALED SPRINKLER BELOW CEILING
N.T.S.

FIRE PROTECTION DETAILS
SCALE: N.T.S.

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CITY OF KEY WEST

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Florida License AIC002022

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ARCHITECTS
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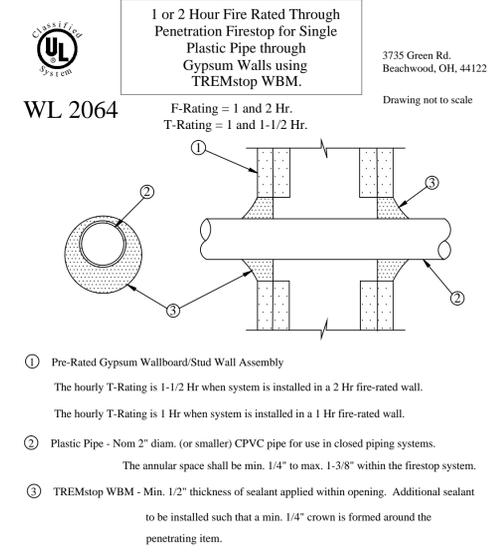
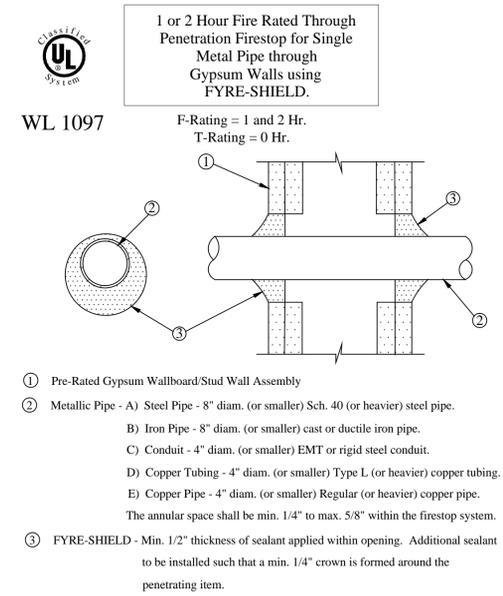
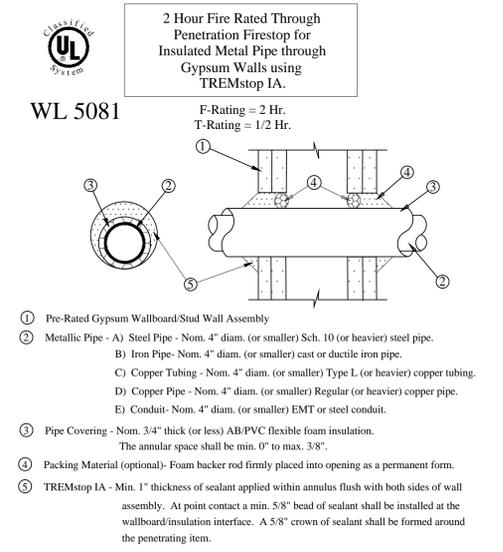
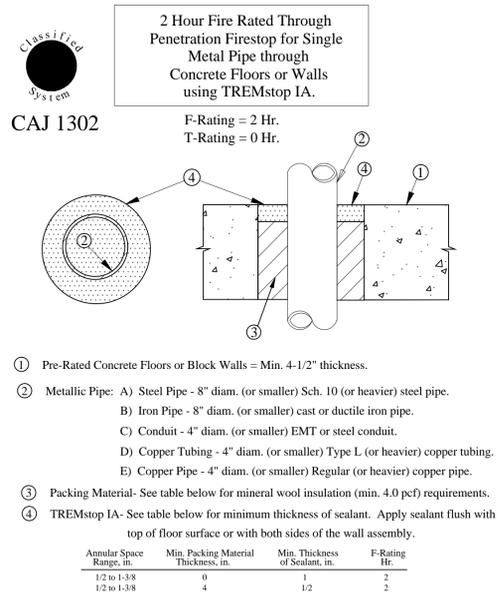
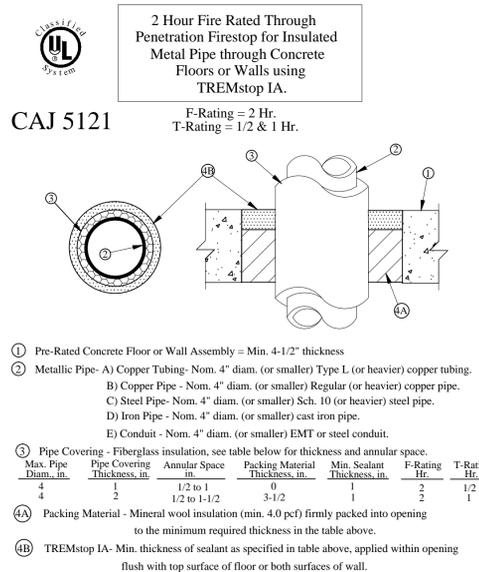
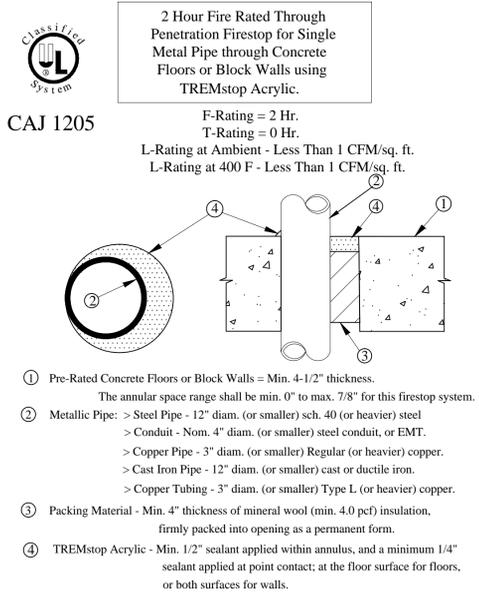
Project N.º 1305

FIRE PROTECTION
DETAILS

Date: 3/3/14

FP4.1

60% CONSTRUCTION DOCUMENTS



FIRE STOPPING DETAILS
N. T. S.
NOTE:
1. PROVIDE PLANED SQUARE ENDS PROJECTING 2" ABOVE THE FLOOR FOR ALL SLEEVES THROUGH FLOORS.
2. MAKE SLEEVES PASSING THROUGH WALLS OR BEAMS FLUSH WITH ADJACENT SIDES.

FIRE PROTECTION FIRE STOP DETAILS
SCALE: N.T.S.

REVISIONS:

**KEY WEST CITY HALL
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1300 WHITE STREET
KEY WEST, FLORIDA
CITY OF KEY WEST

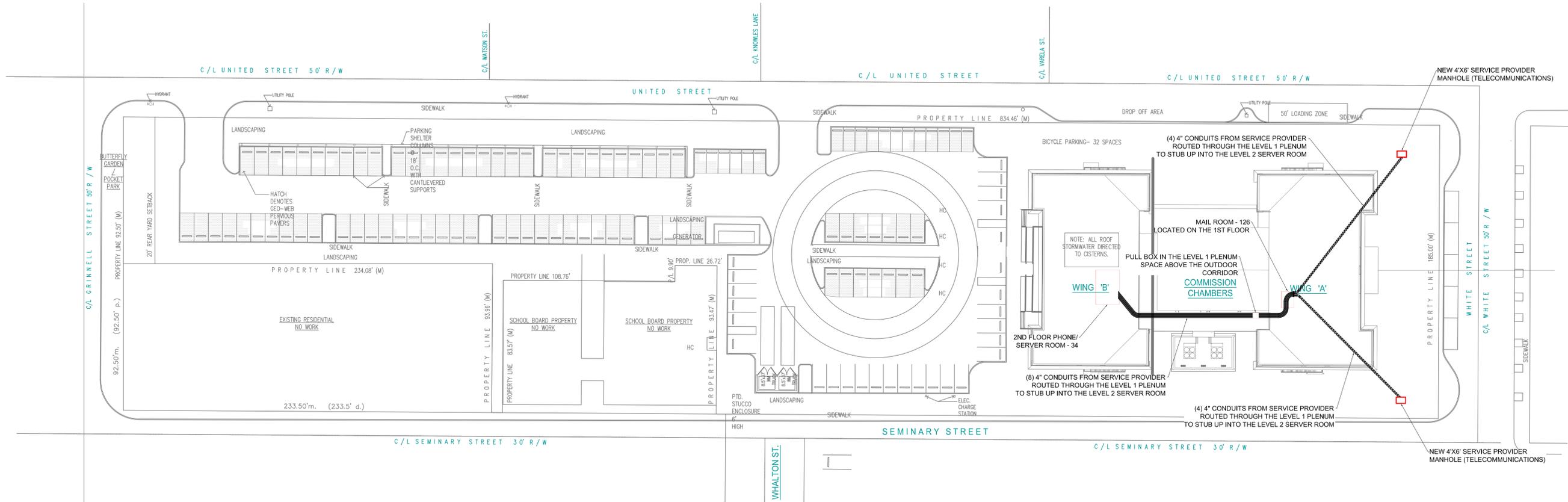
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Project N^o 1305
FIRE PROTECTION DETAILS
Date: 3/3/14

FP4.2

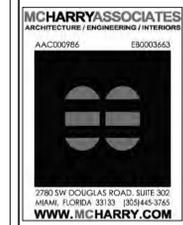
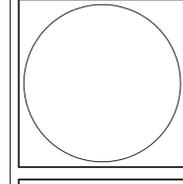
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1 OVERALL CONDUIT SITE PLAN
SCALE: 1/32" = 1'-0"

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CITY OF KEY WEST



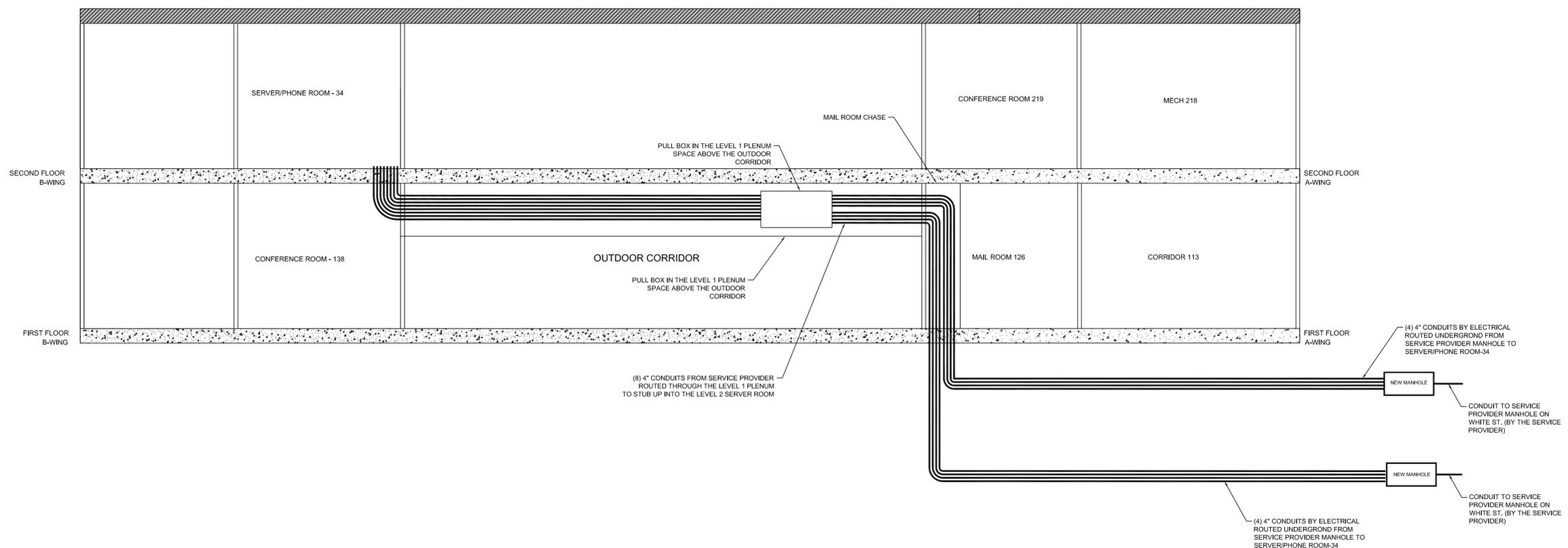
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Project N.º 1305
Date: 3/3/14

OVERALL
CONDUIT SITE
PLAN
T2.00

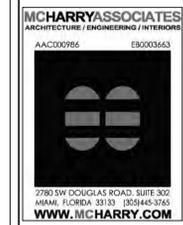
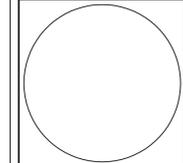
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1 CONCEPTUAL RISER DIAGRAM
SCALE: NTS

REVISIONS:

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CONCEPTUAL RISER DIAGRAM

T4.00

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