

**PLANNING BOARD RESOLUTION
NO. 2013-049**

RECOMENDING APPROVAL OF AN ORDINANCE OF THE CITY OF KEY WEST AMENDING CHAPTER 122, OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES ENTITLED "ZONING" OF ARTICLE IV, DIVISION 5 BY AMENDING THE HRCC-4 ZONING DISTRICT SECTION 122-756 ENTITLED "INTENT"; AMENDING SECTION 122-757 ENTITLED "USES PERMITTED"; AMENDING SECTION 122-758 ENTITLED "CONDITIONAL USES"; AMENDING SECTION 122-759 ENTITLED "PROHIBITED USES"; AND AMENDING SECTION 122-760 ENTITLED "DIMENSIONAL REQUIREMENTS"; AND AMENDING DIVISION 11 BY AMENDING THE HPS-1 ZONING DISTRICT SECTION 122-966 ENTITLED "INTENT"; AMENDING SECTION 122-967 ENTITLED "USES PERMITTED"; AMENDING SECTION 122-968 ENTITLED "CONDITIONAL USES"; AND AMENDING SECTION 122-970 ENTITLED "DIMENSIONAL REQUIREMENTS" FOR AMENDMENTS TO ZONING DISTRICT REGULATIONS FOR THE LANDS WITHIN THE DESIGNATED TRUMAN WATERFRONT PARK AREA; AND AMENDING ARTICLE V, SUPLEMENATRY DISTRICT REGULATIONS, DIVISION 2, USES, BY AMENDING SECTION 122-1111 ENTITLED "TABLE OF LAND USES BY DISTRICT"; AND AMENDING SECTION 122-1151 ENTITLED "TABLE OF SIZE AND DIMENSION REGULATIONS" PROVIDING FOR SEVERABILITY; PROVIDING FOR THE REPEAL OF INCONSISTENT PROVISIONS; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning Department initiated the proposed amendments to the ordinance as a result of changes to the Comprehensive Plan and the Truman Waterfront Master Plan; and

WHEREAS, the Planning Board held a noticed public hearing on August 22, 2013,


Chairman

Planning Director

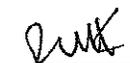
where based on the consideration of recommendations by the City Planner and City Attorney, the Planning Board recommended approval of the proposed amendments; and

WHEREAS, the Planning Board determined that the proposed amendments are: consistent with the Comprehensive Plan; in conformance with all applicable requirements of the Code of Ordinances; are stimulated by changed conditions after the effective date of the existing regulation; will promote land use compatibility; will not result in additional public demand on public facilities; will have no impact on the built environment; will not negatively impact property values or the general welfare; will result in more orderly and compatible land use patterns; and are in the public interest.

NOW THEREFORE BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. Recommending approval of an ordinance of the City of Key West amending Chapter 122, of the Code of Ordinances entitled "Zoning" of Article IV, Division 5 by amending the HRCC-4 zoning district Section 122-756 entitled "Intent"; amending Section 122-757 entitled "Uses Permitted"; amending Section 122-758 entitled "Conditional Uses"; amending Section 122-759 entitled "Prohibited Uses"; and amending Section 122-760 entitled "Dimensional Requirements"; and amending Division 11 by amending the HPS-1 zoning district Section 122-966 entitled "Intent"; amending Section 122-967 entitled "Uses Permitted";

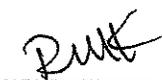
 Chairman
 Planning Director

amending Section 122-968 entitled “Conditional Uses”; and amending Section 122-970 entitled “Dimensional Requirements” for amendments to zoning district regulations for the lands within the designated Truman Waterfront Park area; and amending Section 122-1111 entitled “Table of Land Uses by District”; and Section 122-1151 entitled “Size and Dimension”, “Table of Size and Dimension”; providing for severability; providing for the repeal of inconsistent provisions; providing for an effective date\is hereby recommended for approval; with the condition that the Comprehensive Plan amendment for the HRCC-4 Land Use district is approved; a copy of the recommended modifications to the Code is attached.

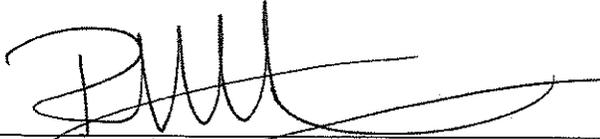
Section 3. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Read and passed on first reading at a special meeting held this 22nd day of August, 2013.

Authenticated by the Chairman of the Planning Board and the Planning Director:


Chairman

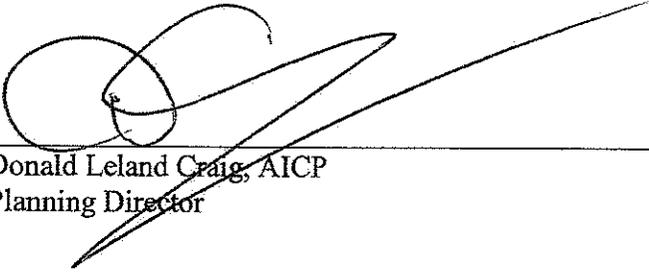
Planning Director



Richard Klitenick, Chairman
Key West Planning Board

8/28/2013
Date

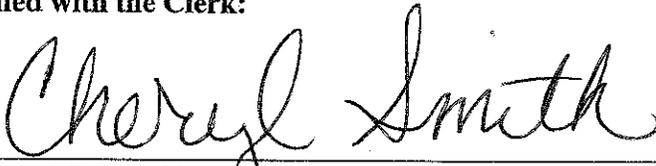
Attest:



Donald Leland Craig, AICP
Planning Director

8.26.13
Date

Filed with the Clerk:



Cheryl Smith, City Clerk

9-3-13
Date

Chairman
 Planning Director