

Historic Architectural Review Commission

Agenda Packet

July 27, 2010 – 3:00 p.m.

City Hall Conference Room

City Hall, 3140 Flagler Avenue



Item 5.b.3

Open enclosed front porch, rebuild front façade and replace all windows- **#1503 South Street-**
Applicant: John Castro (H10-01-133). Create new front porch. Change all windows. Paint white.

5b-3 – Request to open an enclosed front porch, rebuilt front façade and replace all windows- **#1503 South Street- Applicant: John Castro (H10-01-133)**

Create new front porch. Change all windows. Paint white.

The house located on 1503 South Street is listed as a contributing resource in the 1998 and 2004 surveys. The frame vernacular house was built in 1943. The proposed plans include the removal of non original jalousie windows that were used to enclose the front porch. The existing roof and floors of the front porch were extended from the original at some point in time and the space was used as a family room. The new plan proposes to open the front part of the porch and converted into an open one and the reconstruction of the main façade. The plans also include the replacement of one over one wood hung windows and aluminum jalousie windows. For the historic portion of the house the plans include the replacement of all windows with wood Marvin double hung one over one, while for the non historic portion of the house just a pair of jalousie windows will be replaced with one over one PGT Windguard double hung.

For the new front elevation the plans include a three bay porch and a symmetrical front façade. New board and batten will match existing found in the historic house. The existing roof will remain. For the non historic attached addition windows will be removed from the south and north elevations and new wood siding will cover the openings.

Guidelines that should be reviewed for this application;

- Entrances, porches and doors (pages 32-33);

(1) The removal or [the] non historic enclosure of a historic entrance or open front porch or side porch on publicly visible elevations of a contributing building is not appropriate; nor is the non historic use of louvers, glazing, screening or a permanent enclosure of any kind.

The proposed plans indeed include the removal of non historic enclosure of a front porch. Although the front part of the house is an addition to an original front porch the recreation of a porch is in keeping with what this historic house used to be.

(7) Porch reconstruction on contributing buildings must duplicate the historic entryway and porch and be compatible in design, size, scale, material and color with the historical character of the building.

The new design includes a traditional three bay front porch. The new front façade will have board and batten to match existing. The proposed new porch and front façade are compatible with the historic character of the house.

Proposed wood windows and wood doors are compatible with existing ones.

- Windows (page 29-30):

(1) *Original windows should be repaired by patching, stripping, reinforcing or rebuilding to prevent replacement of historical windows whenever possible.*

The existing one over one wood windows are inoperable.

(2) *Replacement windows on contributing structures should be made to fit the original window opening without the use of blocking or infill. Such replacement windows, sills, muntins, sashes, surrounds and other window features should be of similar and compatible configuration, material, size, design, and placement as those of original windows.*

The proposed new replacement windows for the historic portion of the house will be made of wood and their proportions and sizes will be the same as the existing ones.

Staff recommends to this honorable commission to **approve** the proposed plans as submitted. Staff understands that the proposed new front porch and façade and new windows are in compliance with the Historic Architectural Guidelines.

Application



CITY OF KEY WEST *Fax 809-3978*
BUILDING DEPARTMENT

CERTIFICATE of APPROPRIATENESS

APPLICATION # H10-01-133

OWNER NAME: Allen Roberts DATE: 7-6-10

OWNERS ADDRESS: _____ PHONE #: _____

APPLICANT'S NAME: John Castro PHONE #: 522-5581

APPLICANT'S ADDRESS: 2301 Seidenberg Ave.

ADDRESS OF CONSTRUCTION: 1503 South Street # OF UNITS: 1

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:

*Create new front porch.
Change windows. All windows.
Paint white.*



Chapter 837.06 F.S.- False Official Statements- Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or s. 775.083

This application for Certificate of Appropriateness must precede applications for building permits, variances and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required submittals will be considered incomplete and will not be reviewed for approval.

REQUIRED SUBMITTALS

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings or additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

Date: 7-6-10
Applicant Signature: John Castro

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____

Denied _____

Deferred _____

Reason for Deferral or Denial:

HARC Comments:

House is listed as contributing. Build in ¹⁹⁴³ 1943 frame vernacular.

Guidelines for entrances, porches and doors. (pages 32-33)

Guidelines for windows. (pages 29-30)

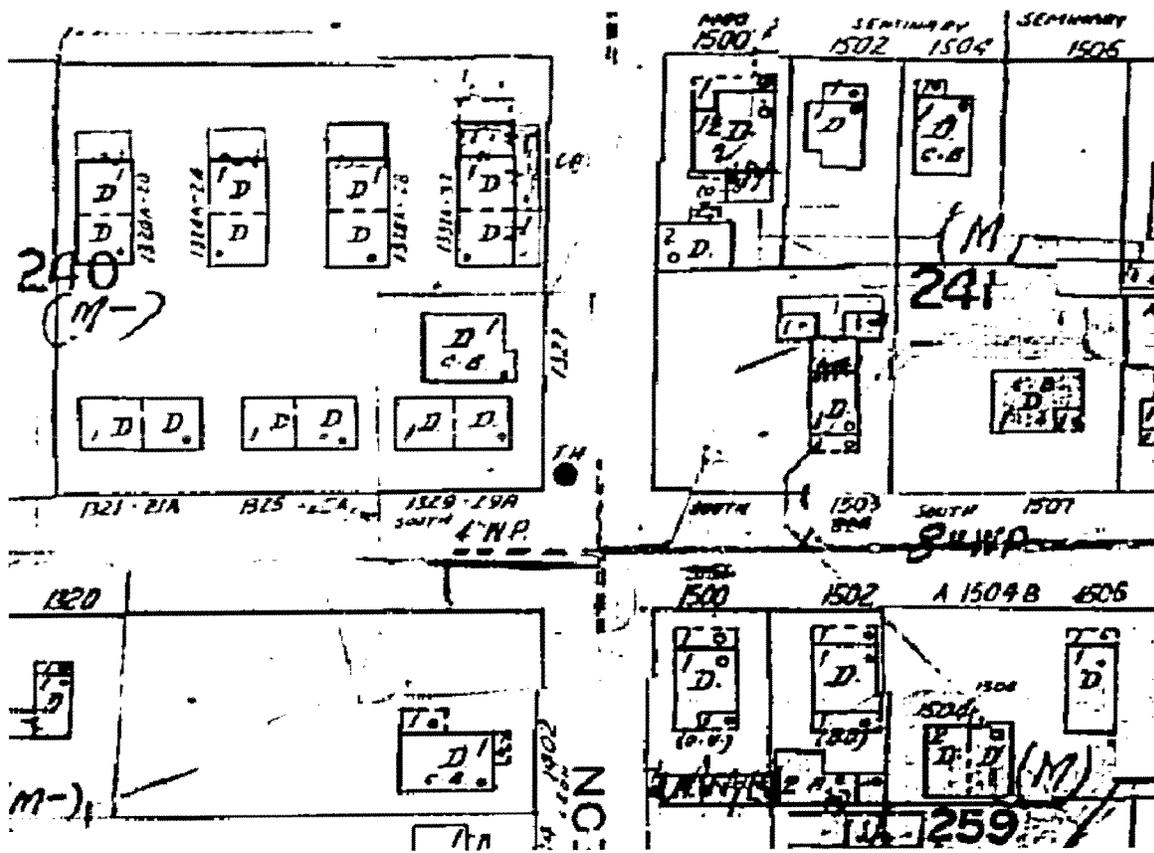
Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

Signature: _____

Historic Architectural
Review Commission

Sanborn Maps



#1503 South Street Sanborn Map 1962 Copy

Project Photos

By _____
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JUL 06 2010



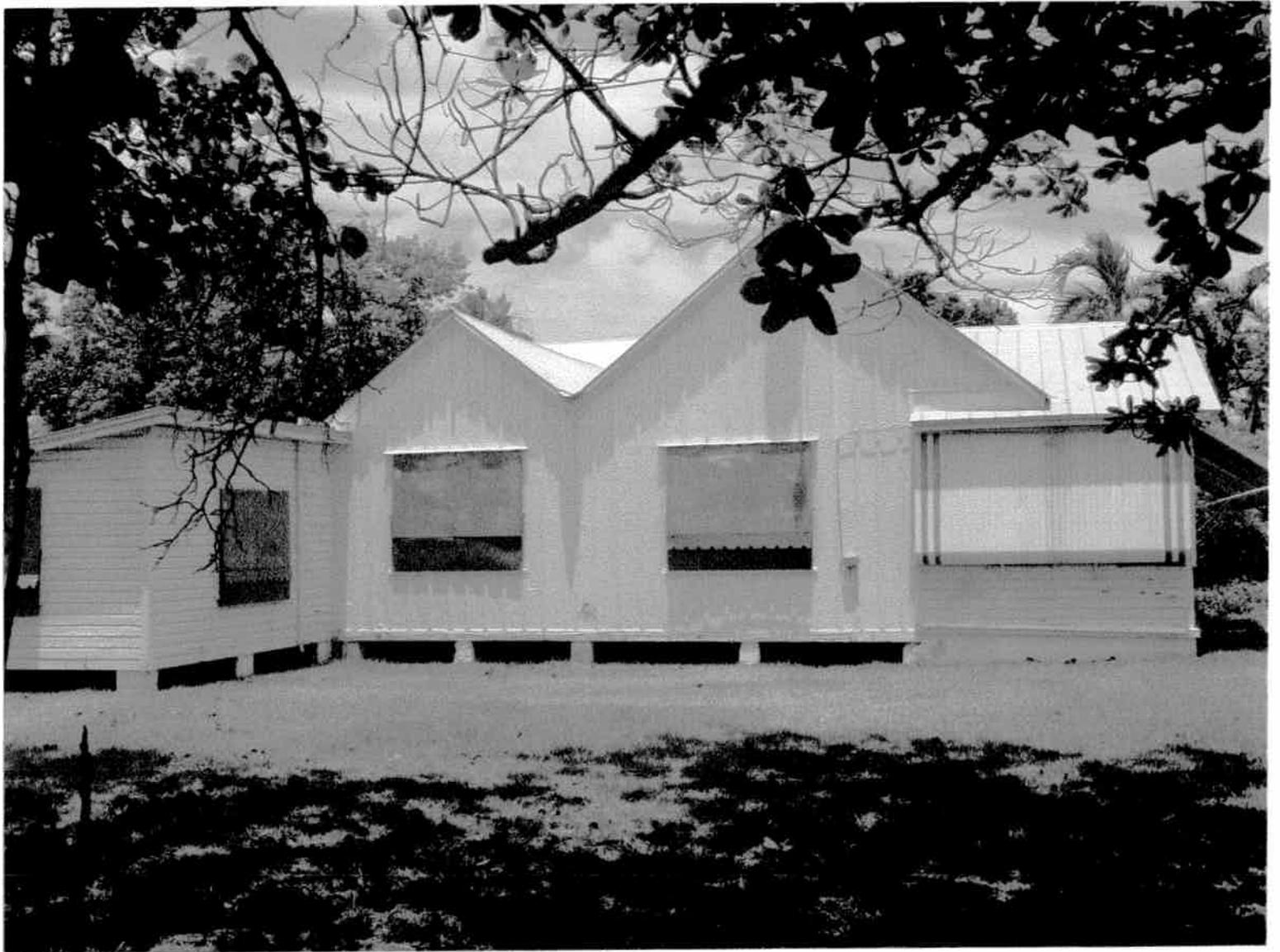
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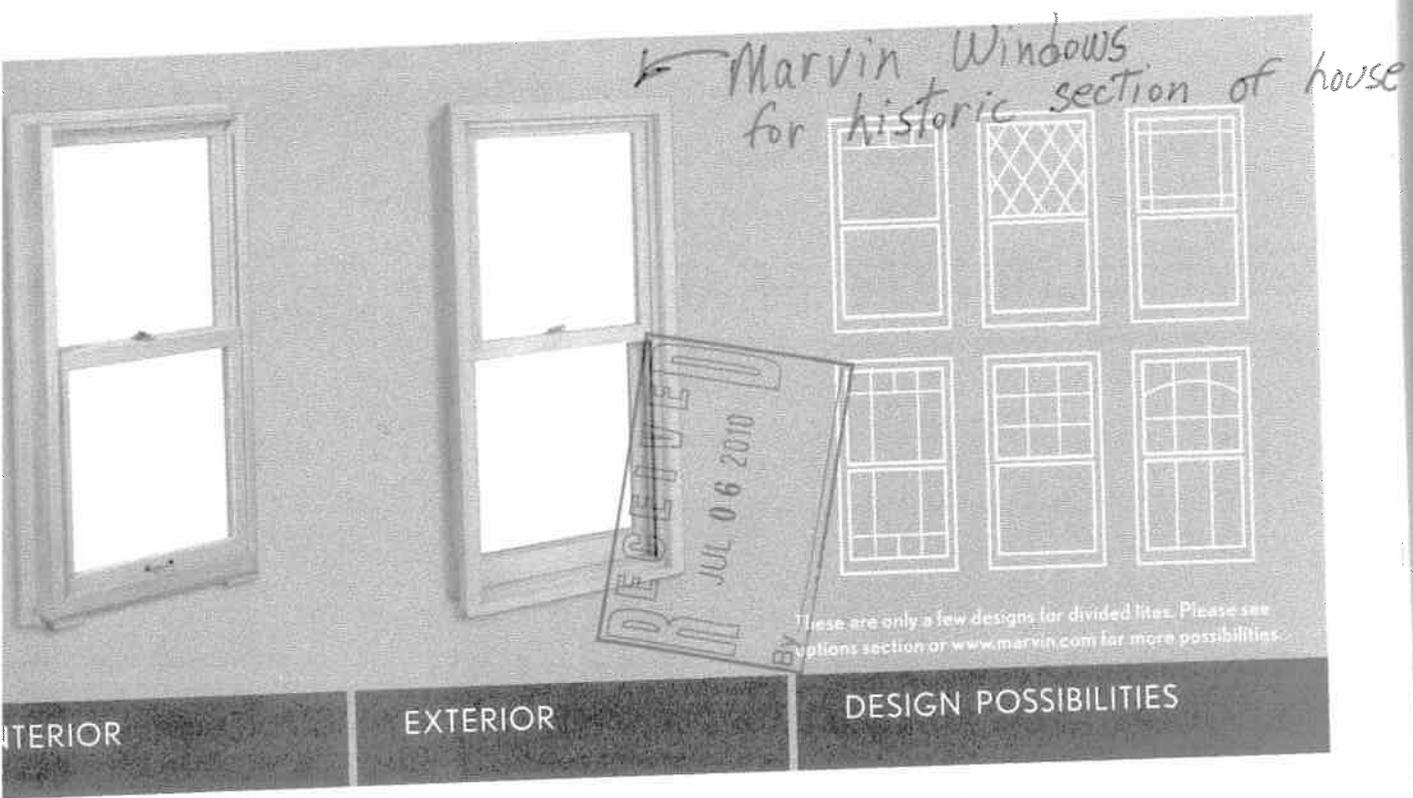
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RV



Additional Information



BOTH TRADITIONAL AND MODERN AT THE SAME TIME.

Window makers of an earlier era got a lot of things right. Sophisticated lines, profiles and proportions never go out of style. Marvin's Ultimate Double Hung combines a state-of-the-art window design with a classic style of the past. New advancements in engineering make Ultimate Double Hung windows simple to open. Marvin's exclusive integrated tilt lever lock allows the sash to be tilted in or removed for easy cleaning. And with so many options for sash sizes, glazing and lite patterns, you can dream up the ultimate window, and Marvin can build it.

STANDARD FEATURES

- Clear, one-lite insulating glass
- Satin Taupe sash lock
- Bare wood interior
- All wood brick mould casing (wood units)
- Extruded aluminum clad exterior (clad units)
- 4 1/8" (116 mm) jambs

HARDWARE

SASH LOCK

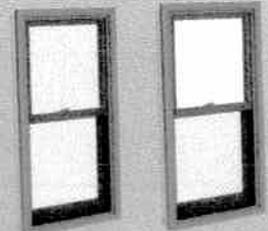


SASH LIFT



(optional)

DETAILS



FULL & HALF SCREEN.

Consider a full screen to cover your entire window or a half screen that covers only the lower portion. Choose from several mesh and surround options.

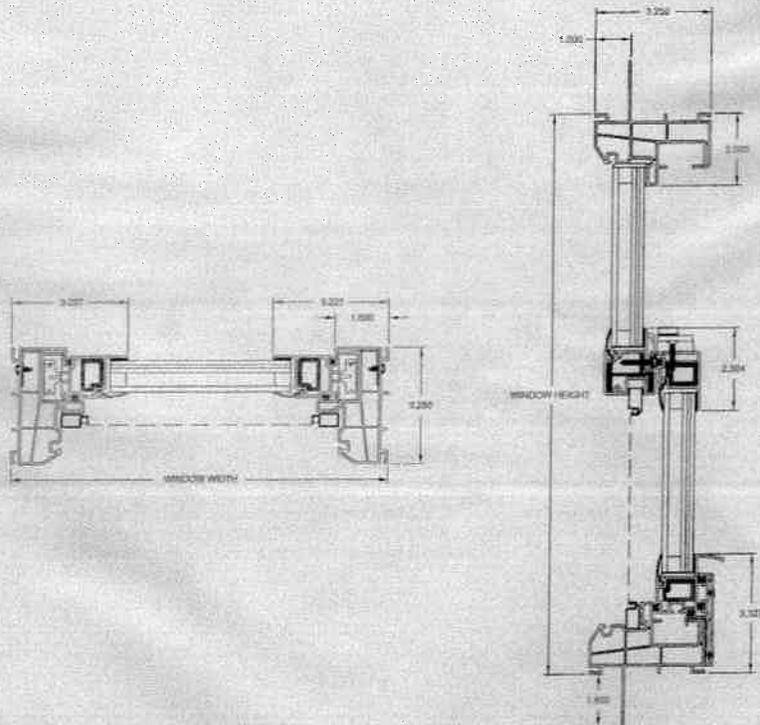
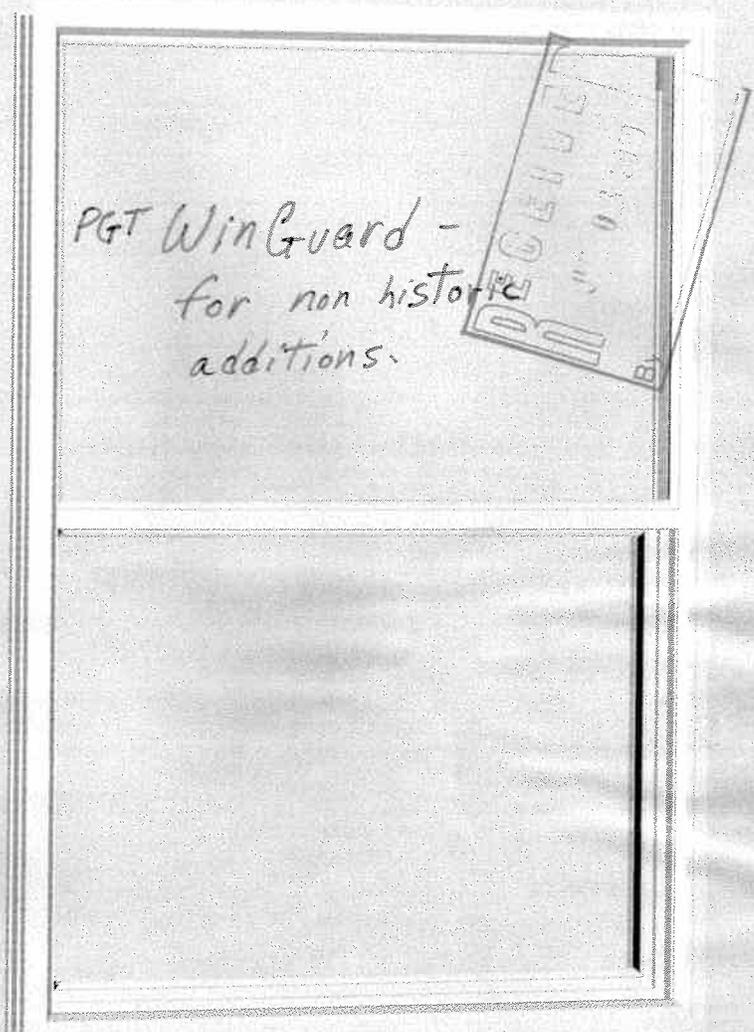
See foldout for more options

VINYL FRAMES

SINGLE HUNG - SERIES SH1400

- Frame Options
 - 1/2" flange
 - 1 1/2" integral nail fin
 - 1/2" snap-on flange
- Reinforced frame corner construction
- Frame and vent corners are welded miter joints
- Fully-reinforced tilt-sash design with lockable tilt-sash latches
- Locking hardware is deluxe swivel type
- Removable half-screen
- Pro-View (Oriel style) option is available

NOTE: WinGuard® brand windows only refer to those products that are glazed with PGT® laminated glass.



Property Appraiser Information

Site Plans

GENERAL NOTES AND SPECIFICATIONS

- 1.0 GENERAL ENGINEERING AND CONSTRUCTION
Design and construction shall be in compliance with the latest edition of the 2007 Florida Building Code Residential, and the specific requirements of City of Key West, Florida.
- 1.1 General Construction methods, procedures and sequences are the responsibility of the Contractor. The Contractor shall take the necessary means to maintain and protect the structural integrity and serviceability of the construction at all times.
- 1.2 Submittals: The extent of the Engineering Certification of these drawings is limited to the renovations of the single family residence as indicated.
- 1.3 Construction Loads: Structural members as shown in the working drawings have been designed to carry the load required service loads only. The structural design of this project has not considered loads imposed during construction. Construction loads may exceed the service design loads.
- 1.4 Construction Coordination: The Contractor shall coordinate all work required by the architectural, structural, and mechanical drawings and shall verify all dimensions, elevations and the location and sizes of all features, depressions and other project requirements not shown on the structural working drawings.
- 1.5 Conflicts: Whenever conflicts, discrepancies, or ambiguities exist in the structural drawings, schedules or notes, they shall be brought to the attention of the Engineer for correction and/or clarification.
- 1.6 Engineer's Limitation of Responsibility: The Engineer shall not be responsible for the quality of composition of materials and drawings fabrication, construction inspection, supervision of review, special inspection, or the quality or correctness of construction. The Engineer shall not be responsible for site and construction safety and/or the safety of the workers. Site and construction safety is the responsibility of the Contractor.
- 1.7 Engineer's Statement of Compliance: To the best of the Engineer's information, knowledge, and belief the structural plans and specifications presented herein comply with the applicable minimum building codes, standards and practices.
- 1.8 Location: These plans are for the renovations to the single family residence at the location so designated herein.
- 1.9 Changes: There shall be no deviation from these plans without prior approval from the engineer of record. Any changes made prior to approval by the owner and/or engineer of record are disallowed as extras and the contractor may have to restore to conform to plans without additional compensation.
- 1.10 Discrepancies: The contractor shall check and verify all dimensions and conditions of the job site and report any discrepancies or conditions that are unsatisfactory or unsafe before proceeding with the work.
- 1.11 Safety: The Contractor shall provide for the safety, prevention of injury or loss at the job to all persons employed on the work. Debris, materials or equipment on the job, shall also be responsible for the prevention of damage, due to the work to materials or equipment and other property at the site or adjacent thereto.
- 1.12 Omissions: Omissions from the drawings or notes or the misdescription of details of work which are manifestly to carry out the intent of the drawings and notes, or which are customarily performed, shall not relieve the contractor from performing such omitted or misdescribed details of work, but they shall be performed as if fully and correctly set forth and described in the drawings and notes.
- 1.13 Dimensions: The contractor shall not scale drawings. Any information that he cannot obtain from dimensions, detail or schedule, he shall notify the engineer of record.
- 1.14 Coordination: The Contractor shall check and coordinate work of various trades to prevent any conflicts.
- 1.15 Plans: The Contractor shall furnish all sub-contractors with a complete set of plans.
- 1.16 Concrete: Concrete work shall conform to all requirements of "ACI 301" latest edition, "Specifications for Structural Concrete for Buildings".
- 1.17 Reinforcing: Reinforcing steel shall be Grade 60.
- 1.18 Debris: The Contractor will provide an on-site dumpster in a location coordinated with the owner for the disposal of removed materials and construction debris. The dumpster shall be emptied at appropriate intervals to prevent overflow and unsightly conditions.
- 1.19 Completion: After completion of construction remove all debris and construction equipment.
- 1.20 Drainage Calculation: All storm water shall be retained on the property.

ELECTRICAL NOTES

- All electrical work shall be performed in accordance with the 2007 Florida Building Code, Residential, the latest edition of the National Electrical Code and all local codes and ordinances.
- The electrical contractor shall be responsible for the full coordination of his work with that of all other contractors.
- It shall be understood that all work performed, shall be done so by a licensed electrical contractor and in a first class workmanlike manner.
- All electrical work and material shall be guaranteed for a period of one year for the date of Certificate of Occupancy.
- Plans shall have a typewritten directory indicating all brands.
- Lighting fixtures including lamps shall be provided and installed by the electrical contractor.
- All wires and cables shall be copper. Wires shall be #12 minimum size.
- Contractor shall provide temporary power for all trades.
- Balance loads in accordance with good construction practices.
- The electrical contractor shall be responsible for verifying adequate circuitry and breaker sizes which are required by this contract.
- The contractor shall furnish and install approved hard-wired smoke detectors in accordance with the requirements of the 2007 Florida Building Code.
- All bathroom and kitchen receptacles shall have ground fault protection.
- All receptacles require arc-fault protection.

ELECTRICAL LOAD CALCULATIONS

GENERAL LOAD	1,115 SF X 3 WSF =	3,345 W
RANGE	3 # 6 THHN =	12,000 W
REFRIGERATOR	2 # 12 THHN =	1,000 W
KITCHEN APPLIANCES	2 # 12 THHN =	3,000 W
MICROWAVE	2 # 12 THHN =	1,500 W
DISHWASHER	2 # 12 THHN =	1,500 W
LAUNDRY WASHER	3 # 12 THHN =	1,500 W
CLOTHES DRYER	3 # 10 THHN =	5,000 W
WATER HEATER	3 # 10 THHN =	4,500 W

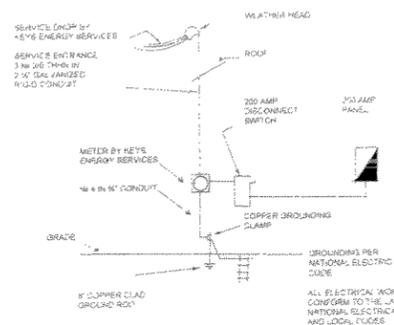
SUBTOTAL = 33,345 W

FIRST 10 KW @ 100 %	= 10,000 W
REMAINDER @ 40 %	= 9,338 W
CENTRAL AIR @100 %	= 7,920 W
(EER 14)	

NET COMPUTED LOAD = 27,258 W

27,258 W ÷ 240 V = 114 AMPS

USE 200 AMP PANEL



ELECTRICAL RISER
N.T.S.

DESIGN INFORMATION 2007 FLORIDA BUILDING CODE

USE GROUP	R - 3 RESIDENTIAL
CONSTRUCTION	TYPE VB
FLOOR LOADS	40/10
ROOF LOADS	20/10
ZONING	SINGLE FAMILY
WIND ZONE	150 (3 SECOND GUST)
CATEGORY	C
SEISMIC GROUP	0
INT. PRESSURE COEFFICIENT	-0.18
IMPORTANCE FACTOR	1.0
FLOOD ZONE	AE 0

THE CONSTRUCTION DEPICTED ON THESE DRAWINGS WAS DESIGNED TO COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND ORDINANCES INCLUDING THE 2007 FLORIDA BUILDING CODE, RESIDENTIAL AND THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, FIRE CODE AND LIFE SAFETY CODE.

DESIGNED PER ASCE 7-05 150 MPH, 3 SECOND GUST

INSULATION PER FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

EXTERIOR OPENING STORMPROOFING

PROVIDE EXTERIOR OPENINGS TO MEET 150 MPH WINDLOAD AS PER ASCE - 7-05 STORM SHUTTERS SHALL MEET OR EXCEED 2007 BUILDING CODE, RESIDENTIAL, WITH ALL AMENDMENTS AND/OR THE CITY OF KEY WEST HISTORIC ARCHITECTURAL REVIEW COMMISSION (HARC)

MECHANICAL NOTES

- All work shall be done in accordance with 2007 Florida Building Code, Mechanical, Florida Energy Efficiency Code and all local ordinances.
- Contractor shall furnish all labor, materials, equipment, permits, fees, inspections and insurance, etc. as required.
- Contractor shall verify space conditions and dimensions and shall coordinate work with all other trades prior to fabricating ductwork or installing equipment or piping.
- Air conditioning ductwork shall be constructed of one and half inch thick (R-6 minimum) fiberglass duct board with reinforced aluminum foil faced covering fabricated and installed per S.M.A.C.S.A. recommendations.
- All ventilation and exhaust ductwork shall be of galvanized sheet metal constructed as per S.M.A.C.S.A. recommendations.
- Refrigerant piping shall be type "L" copper tubing and installed per manufacturer's recommendations. Provide insulation for refrigerant lines similar to Armaflex weather-exposed insulation to be provided with weather proof coating as recommended by manufacturer. Exposed and concealed condensate lines in walls and ceilings to be provided with same type of insulation.
- All equipment, materials and workmanship shall be guaranteed for a period of one year from the date of acceptance, but not less than carry a five year factory guarantee.
- Air conditioning system shall be balanced to obtain comfort conditions without draft in all areas and to deliver air quantities indicated in the drawings.
- Thermostats shall be heat/cool type with fan and system selector switch on sub-base mount five feet above finished floor where shown.
- All duct elbows greater than forty-five (45) degrees shall be fitted with turning vanes.
- All duct dimensions indicated in the drawing are clear inside dimensions.
- Provide ready accessibility to dampers and other parts of the system required to be reached for maintenance and operations.
- Verify all voltages with electrical contractor before ordering equipment.
- Vibration isolation: all equipment as per manufacturer's recommendations or as scheduled on drawings.
- All outside equipment shall be secured with withstand 150 mph winds.
- Flexible duct shall be factory fabricated round ductwork composed of corrosion-resistant reinforcing with helix permanently bonded and enclosed fiberglass insulation blanket sheathed in a vapor barrier of an aluminum metalized polyester film laminated to glass mesh, elastomer back coated. The duct shall comply with NFPA Bulletin 90-A and be listed A Class 1, or duct UL 181 duct shall be "WireMold" type WG or equal.
- Condensing units shall be placed a minimum of 5 feet from the property line. Condensing units shall not be placed in the front yard. Condensing units shall be placed at or above base flood elevation.

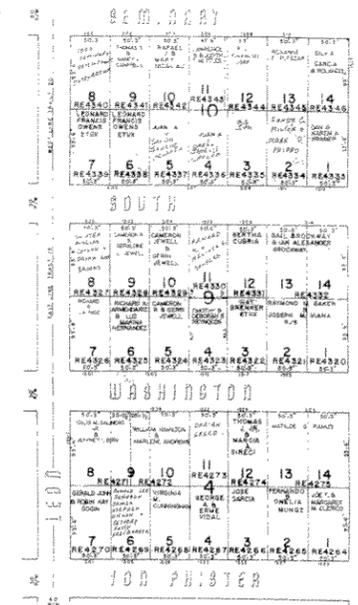
PLUMBING NOTES

- Furnish labor, material and equipment necessary for a reasonably incidental to completion of plumbing work as indicated on drawings and noted below.
- All plumbing work shall be installed per the rules and regulations of the 2007 Florida Building Code Residential and local ordinances having jurisdiction of the project site area. Pay for all permits.
- Guarantee all materials and workmanship for one year.
- Architectural drawings take precedence over plumbing drawings with reference to building construction. Plumbing drawings (plans, diagrams, etc.) are diagrammatic and should not be scaled. The contractor shall coordinate all work under contract.
- The owner will not be held liable for field changes that arise from contractor error or omission of material or workmanship in work performance.
- The plumbing contractor shall be responsible for communication with the local building department and inspection personnel to review contract documents prior to installation.
- Check out and connect all fixtures and equipment requiring plumbing.
- Necessary, obviously required plumbing items that are not shown on the drawing does not relieve the contractor from his responsibility to install a complete operating plumbing system.
- If any discrepancies should exist the contractor shall notify the owner/engineer prior to bidding.
- The plumbing contractor shall coordinate all plumbing work with all trades that may be affected by his work.
- All plumbing fixtures shall be selected by the owner and installed by the contractor. Plumbing fixtures indicated on drawing are for reference only; fixtures of equal quality and craftsmanship may be used as directed.
- Provide all cutting required for the installation of plumbing work, finish patching shall be coordinated with the general contractor.
- All soil and waste piping shall have a slope of 1/8" per foot of pipe.
- Final water piping routing shall be coordinated with the general contractor, offset piping to avoid flashing, mechanical and electrical equipment, etc.
- All water piping shall be supported rigidly and in line from building structure.
- All fixtures and equipment shall have shut-off valves and/or near equipment.
- Water usage for plumbing fixtures shall not exceed the following:
 - Water Closets: 1.6 gallons per flush
 - Showers: 2.6 gallons per minute
 - Faucets: 2.0 gallons per minute.
- Hose bibs shall be protected by approved back-siphonage backflow preventers.

STORMWATER RETENTION

THIS CONSTRUCTION WILL NOT RESULT IN ADDITIONAL STORMWATER AT THIS LOCATION

SITE PLAN
SCALE: 1" = 20'



LOCATION PLAN

REVISIONS	BY
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LEGAL Lot 6 and 7, KEY WEST MONROE INVESTMENT CO. SUBDIVISION, Tract 20, as recorded in Plat Book 1, Page 41 of the Public Records of Monroe County, Florida.

RENOVATIONS AT
1503 SOUTH STREET
KEY WEST, FLORIDA

LEONARD OWENS
Date
Scale
Drawn
Job
Sheet

REYNOLDS ENGINEERING SERVICES
22300 Little Drive
Cudjoe Key, Florida 33047
James C. Reynolds, P. E. 4494885
Phone: 305-304-5987
DXT

FLOOD INSURANCE RATE MAP ZONE AE 6
Community Number 120168, Panel 1516, K
Dated February 18, 2005

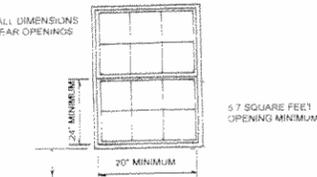
EMERGENCY EGRESS OPENINGS

1. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE.
2. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS OR KEYS. WHERE WINDOWS ARE PROVIDED, THE SHALL NOT HAVE A SILL HEIGHT OF MORE THAN 3'-0" ABOVE THE FLOOR.
3. MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 20 INCHES. WIDTH DIMENSION SHALL BE 20 INCHES. THE MINIMUM NET CLEAR OPENING AREA SHALL BE 5.7 SQ. FT.

WINDOWS

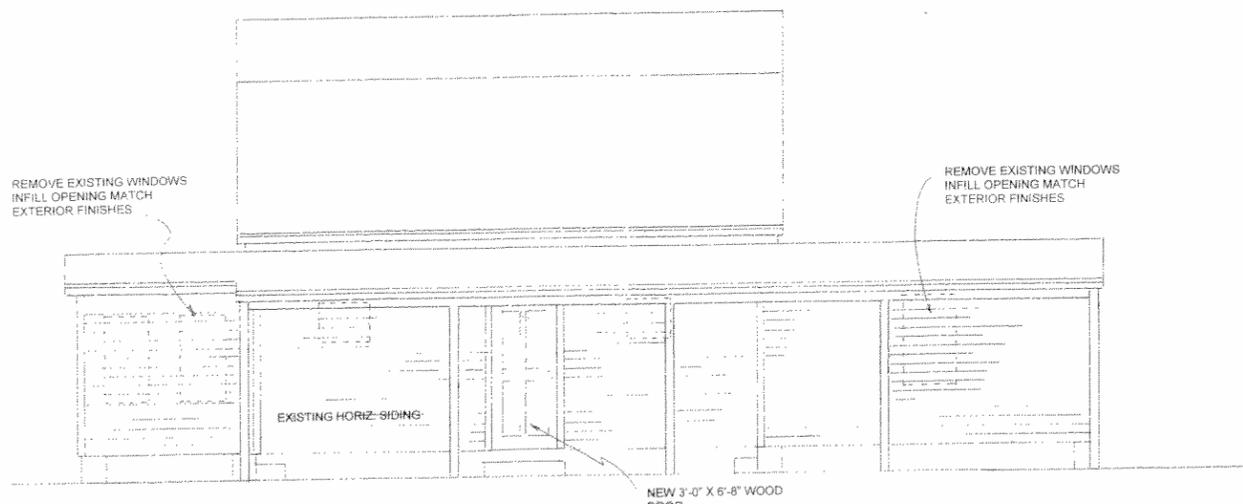
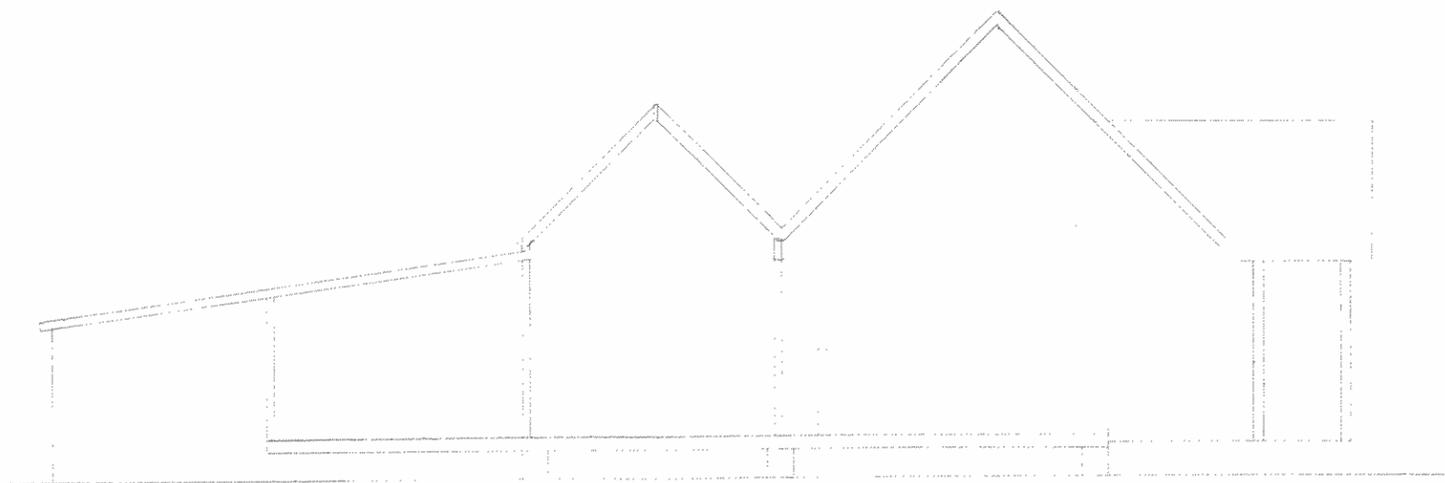
THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL WINDOW AND OPENING DIMENSION REQUIREMENTS WITH THE WINDOW MANUFACTURER AND/OR THE MANUFACTURER'S SALES REPRESENTATIVE PRIOR TO CONSTRUCTION AND INSTALLATION. ALL WINDOWS SHALL MEET PRESSURES AS INDICATED.

NOTE: ALL DIMENSIONS ARE CLEAR OPENINGS.



EGRESS WINDOW
N.T.S.

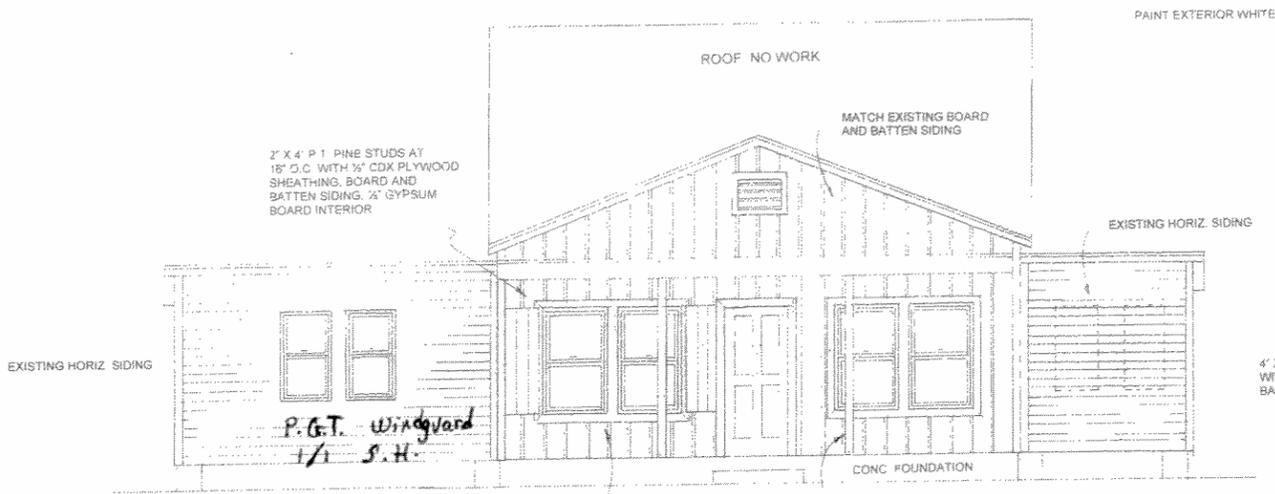
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REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION



RIGHT ELEVATION

REVISIONS	BY

REYNOLDS ENGINEERING SERVICES
22300 Lattin Drive
Naples, FL 34104
Phone 888-364-5811
James C. Reynolds, P.E. #46085
DATE

LEGAL Lot 6 and 7, KEY WEST MONROE INVESTMENT CO SUBDIVISION, Tract 20, as recorded in Plat Book 1, Page 41 of the Public Records of Monroe County, Florida
FLOOD INSURANCE RATE MAP ZONE: AE 6
Community Number 120168, Panel 1516, K
Dated February 18, 2005

RENOVATIONS AT
1503 SOUTH STREET
KEY WEST, FLORIDA

LEONARD OWENS

Date
Scale
Drawn
Job
Sheet 3