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ISLAND INNOVATIONS

REDEVELOPMENT



CORNER of PETRONIA AND WHITEHEAD STREETS

PLANNING / DRC SUBMISSION

JULY 1, 2010

Historic Tours of America

CIVIL ENGINEER
201 Front Street, Suite 207
Key West, FL 33040
tel: 305.293.3263
fax: 305.293.4899
Mr. Richard J. Milelli

Elizabeth Newland
Landscape Architecture, LLC

LANDSCAPE ARCHITECT
73 North Conch Avenue
Marathon, FL 33050
tel: 305.481.6301
Ms. Elizabeth Newland

mbi | k2m
ARCHITECTURE, INC.

1001 Whitehead Street
Key West, Florida 33040
Tel: 305.292.7722
Fax: 305.292.2162
Email: info@mbi-k2m.com
URL: www.mbi-k2m.com
Mr. Michael B. Ingram

SUBMISSIONS

2010.06.25 HARC Submission
2010.07.01 Planning / DRC Submission

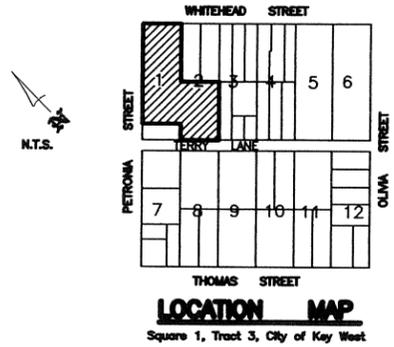
BAHAMA VILLAGE MARKET
REDEVELOPMENT

Project No. Phase:
MK-10043 Design Development

COVER SHEET

A0.1.1

DATE: July 1, 2010



LEGAL DESCRIPTION:

Parcel "A": (Parcel 1) 806 Whitehead Street
 On the island of Key West, Monroe County, Florida and is designated on Charles W. Tift's map of said island as part of Lot No. 2 in the Subdivision of Square No. 1, in part of Tract 3 known as Simonton's Addition to the City of Key West; COMMENCING at a point on Whitehead Street, distant 63 feet from the corner of Petronia and Whitehead Sts. And run thence in a S.E.ly direction 31 feet and 6 inches; thence at right angles in a S.W.ly direction 98 feet; thence at right angles N.W.ly 31 feet and 6 inches; thence at right angles N.E.ly 96 feet to the place of beginning.

Parcel "B": (Parcel 2) 802 Whitehead
 In the City of Key West, Monroe County, Florida and is designated on Charles W. Tift's Map of said City as part of Lot 1 of Square 1 in Tract 3 of Simonton's Addition to the City of Key West and herein described more particularly by metes and bounds as follows: BEGIN at the intersection of the Southerly right of Way line of Petronia Street and the W'y right of way boundary line of Whitehead Street for a Point of Beginning; thence Southerly along the said Westerly line of Whitehead Street 62.25 feet to a point; thence Westerly at right angles 98 feet to a point; thence Northerly at right angles 23.48 feet to a point; thence Easterly at right angles 5 feet to a point; thence Northerly at right angles 38.77 feet to a point on the said line of Petronia St.; thence at right angles in a Northeasterly direction 91 feet back to the Place of Beginning.

Parcel "C": (Parcel 3) 318-324 Petronia Street
 Part of Lot One (1) of Square One (1), Tract Three (3) of Simonton's addition to the City of Key West, Florida: COMMENCING at the intersection of the Westerly right of way boundary line of Whitehead Street and the Southerly right of way boundary line of Petronia Street and run thence Westerly along the said line of Petronia 91 feet to the Point of Beginning of the Parcel herein being described: thence continue along the said line of Petronia Street 74 feet to a point; thence Southerly and at right angles 62.25 feet to a point; thence Easterly and at right angles 69 feet to a point; thence Northerly at right angles 23.48 feet to a point; thence Easterly at right angles 5 feet to a point; thence Northerly at right angles 38.77 feet back to the Point of Beginning on Petronia Street.

Parcel "D": (Parcel 4):
 On the island of Key West, as known on Charles W. Tift's map of the City of Key West, as Part of Square One (1) in Tract Three (3) and is part of Subdivision Two (2) in Square One (1), according to a diagram made of Portion of said Tract Three (3), which diagram is recorded in book 17 deeds page 421 Monroe County Records: COMMENCING AT A POINT ON AN Eighteen foot alley way, Sixty three (63) feet and four (4) inches distant from the corner of Petronia Street and said alley way and running thence along said alley way in a Southeasterly direction thirty-one feet and six inches, and extending back in a Northeasterly direction on both lines a distance of ninety-six (96) feet.

Parcel "E": (Parcel 5): 804 Whitehead
 In the City of Key West, Monroe County, Florida and is designated on Charles W. Tift's Map of said City as Part of 1 of Square 1 in Tract 3 of Simonton's addition to the City of Key West and herein described more particularly by metes and bonds as follows: COMMENCE AT THE INTERSECTION OF THE Southerly right of way boundary of Petronia Street and the Westerly right of way boundary line of Whitehead St. 62.25 feet to the Point of Beginning; thence continue along the said Westerly line of Whitehead Street 0.75 feet to a point; thence Westerly at right angles 96 feet to a point; thence Northerly at right angles 0.75 feet to a point; thence Easterly at right angles 96 feet back to the Point of Beginning.

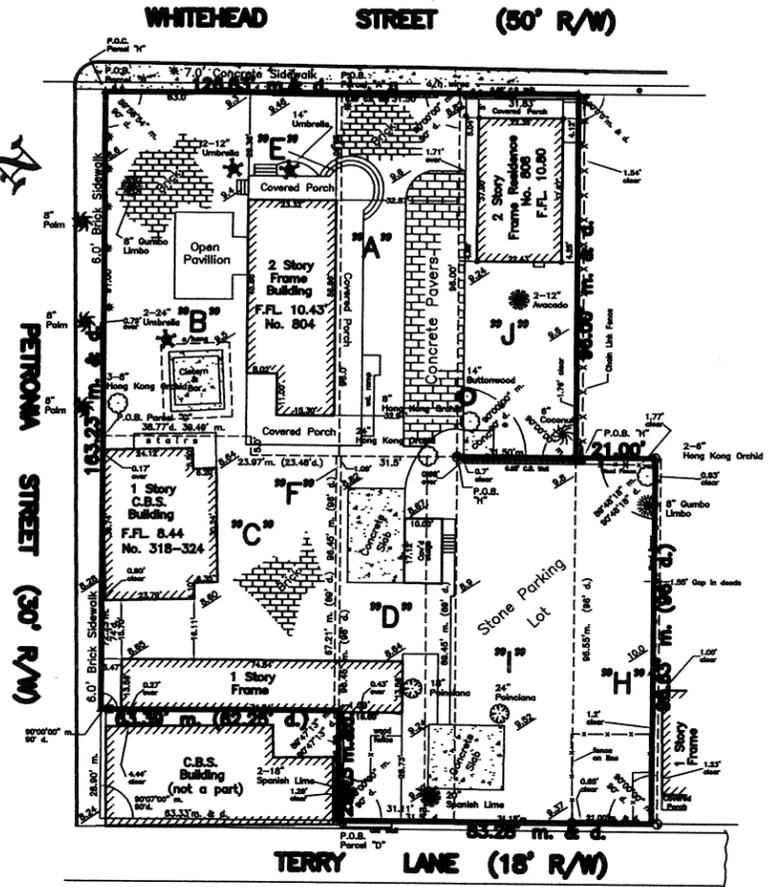
AND
Parcel "H": 811 Terry Lane:
 On the island of Key West is known as Part of Lot Three (3), in the Subdivision of Square One (1), in part of Tract Three (3), Commencing at a point on Whitehead Street One hundred Twenty six feet Four and One-half inches (126' 4"), in a South East direction from the corner of Whitehead and Petronia Streets; running thence at right angles in a SouthWest direction Ninety-six feet (96') to a point of beginning of Lot to be conveyed; running thence at right angles in a South East direction Twenty-one, (21); then at right angles in a South West direction Ninety-six feet (96') to an alley known as Terry's Lane; thence in a North West direction along said alley Twenty-one feet (21'); thence at right angles in a North East direction Ninety-six feet (96') to the point of beginning.

AND
Parcel "I": 809 Terry Lane
 Part of Lot Two (2), in Square One (1) of Tract Three and also known as 809 Terry Lane, in the City of Key West, County of Monroe, State of Florida.

Parcel "J":
 In the City of Key West and known and designated on Charles W. Tift's Map of said City part of Lots One (1) and Two (2) in Square One (1), of Tract Three of Simonton's Addition to the City of Key West, better described by metes and bounds as follows:
 COMMENCING at the intersection of Petronia and Whitehead Streets and run in a Southeasterly direction along Whitehead Street a distance of Ninety-four feet and Ten inches (94' 10") for a point of beginning from this point of beginning continue in a Southeasterly direction a distance of Thirty-one (31) feet and six (6) inches; thence, at right angles, run in a Southwesterly direction a distance of Ninety six (96) feet; thence at right angles, run in a Northwesterly direction a distance of Thirty-one (31) feet and Six (6) inches; thence, at right angles, run in a Northeasterly direction, a distance of Ninety six (96) feet back to the Point of Beginning.

AND
Parcel "F": (Parcel 6):
 On the island of Key West, Monroe County, Florida and being a part of Lot 1 in Square 1 of a Subdivision of a part of the Estate of John W. Simonton Tract 3, Key West, Florida" as recorded in Deed Book 1 at Page 421 Public Records of Monroe County, Florida and being described more particularly as follows: Commence at the point of intersection of the Southerly line of Petronia Street with the Easterly line of Terry Lane; thence Southeasterly along the said line of Terry Lane 63.34 feet to a point; thence Northeasterly at a right angle 27 feet to the Point of Beginning of the parcel of land herein described; thence Northwesterly at a right angle 1.09 feet to a point; thence Northeasterly at a right angle 69 feet to a point; thence Southeasterly at a right angle 1.09 feet to a point; thence Southwesterly at a right angle 69 feet back to the Point of Beginning.

- SURVEYOR'S NOTES:**
 North arrow based on plot assumed median
 Reference Bearing: R/W Whitehead Street
 3.4 denotes existing elevation
 Elevations based on N.G.V.D. 1929 Datum
 Bench Mark No.: Basic Elevation: 14.324
- Abbreviations:**
 Sty. = Story
 R/W = Right-of-Way
 fd. = Found
 p. = Plat
 m. = Measured
 d. = Dead
 N.T.S. = Not to Scale
 o/h = Overhead
 u/g = Underground
 F.F.L. = Finish Floor Elevation
 conc. = concrete
 I.P. = Iron Pipe
 I.B. = Iron Bar
 C.B.S. = Concrete Block Stucco
- Monumentation:**
 G = set 1/2" Iron Pipe, P.L.S. No. 2749
 A = Set P.K. Nail, P.L.S. No. 2749
 Δ = Found P.K. Nail
 ● = Found 1/2" Iron Bar
- Field Work performed on: 5/4/10**



CERTIFICATION:
 I HEREBY CERTIFY that the attached **BOUNDARY SURVEY** is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-8, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments, unless shown hereon.

FREDERICK H. HILDEBRANDT
 Professional Land Surveyor & Mapper No. 2749
 Professional Engineer No. 36810
 State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

5/11/10: Updated, owner
 3/29/05: updated, trees
 3/9/05: updated, rights Parcel J
 3/17/04: Cor. Correct Legal Description

BOUNDARY SURVEY
 Code: 1"=20'
 Date: 9/23/02
 Scale: 10'-22.4'

ISLAND SURVEYING INC.
 3182 Northside Drive
 Suite 201
 Key West, FL 33040
 (305) 293-0488
 Fax: (305) 293-0237
 hilde@islandsurveying.net

Seal:

Richard J. Mielli
FL P.E. 88515

CIVIL ENGINEER
Historic Tours of America
201 Front Street, Ste 201
Key West, FL 33040
Cert. of Auth. 26120

Revisions:

2010.08.28 HARC Submittal
2010.07.01 Planning / DRC Submittal

ISLAND INNOVATIONS REDEVELOPMENT
CORNER OF PERTRONIA AND WHITEHEAD STREETS
KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS OF KEY WEST
711 Duval Street, Key West, Florida 33040

Drawing Size: Project #:
10043

Drawn By: Checked By:

Title:

CONCEPTUAL
DRAINAGE PLAN

Sheet Number:

C-1

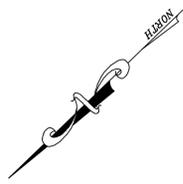
Date: July 1, 2010

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GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.



DRAINAGE CALCULATIONS

WATER QUANTITY -- PREDEVELOPMENT

PROJECT AREA = 0.564 Ac.
PERVIOUS AREA = 0.035 Ac.
IMPERVIOUS AREA = 0.529 Ac.
% IMPERVIOUS = 93.8%
RAINFALL FOR 25yr/24hr EVENT (P) = 9 in.
RAINFALL FOR 25yr/3 DAY EVENT (P) = 12.23 in.
DEPTH TO WATER TABLE = 4< Ft.
DEVELOPED AVAILABLE STORAGE = 8.17 in.
SOIL STORAGE (S) = 0.50 in.
 $Q_{pre} = \frac{(P-0.2S)^2}{(P+0.8S)}$ = 11.65 in.

WATER QUANTITY -- POSTDEVELOPMENT

PROJECT AREA = 0.564 Ac.
PERVIOUS AREA* = 0.084 Ac.
IMPERVIOUS AREA = 0.480 Ac.
% IMPERVIOUS = 85.0%
RAINFALL FOR 25yr/24hr EVENT (P) = 9 in.
RAINFALL FOR 25yr/3 DAY EVENT (P) = 12.23 in.
DEPTH TO WATER TABLE = 4< Ft.
DEVELOPED AVAILABLE STORAGE = 8.17 in.
SOIL STORAGE (S) = 1.22 in.
 $Q_{post} = \frac{(P-0.2S)^2}{(P+0.8S)}$ = 10.88 in.

* ASSUMES PAVERS ARE NOT PERVIOUS

POSTDEVELOPMENT -- PREDEVELOPMENT

$Q_{post} - Q_{pre} = -0.77$ in.
VOLUME = QA = -0.43 Ac-in

WATER QUALITY

PROJECT AREA = 0.564 Ac.
A) ONE INCH OF RUNOFF FROM DRAINAGE BASIN = 0.564 Ac-in
ROOF AREA = 0.163 Ac.
IMPERVIOUS AREA = 0.316 Ac.
% IMPERVIOUS (EXCLUDING ROOF AREA) = 79.0%
B) 2.5 INCHES TIMES PERCENT IMPERVIOUS = 1.11 Ac-in

WATER QUANTITY --vs-- WATER QUALITY

-0.43 Ac-in < 1.11 Ac-in
SWALE VOLUME
SWALE VOLUME REQUIRED = 1.11 Ac-in * 3630 * 50% = 2015 CF
50% CREDIT FOR DRY RETENTION
SWALE VOLUME PROVIDED: SWALE A = 1,014 CF
SWALE B = 50 CF
SWALE C = 49 CF
TOTAL SWALE VOLUME PROVIDED: = 1,113 CF
NOTE:
SWALES D AND E SHALL BE GRADED TO CONVEY RUNOFF TO SWALES B AND C.

EXFILTRATION TRENCH PROVIDED

TRENCH LENGTH = 32 FT
EXFILTRATION TRENCH VOLUME CALCULATED USING SFWMD EQUATION (PG F-10 OF THE ERP INFORMATION MANUAL)
VARIABLES K=0.0001; H=6; W=5; Du=5; Ds=0
VOLUME = 0.35 Ac-in * 3630 = 1,270 CF

NOTES:

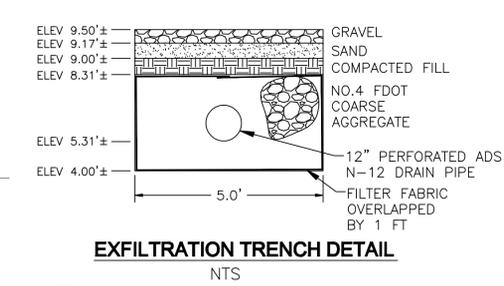
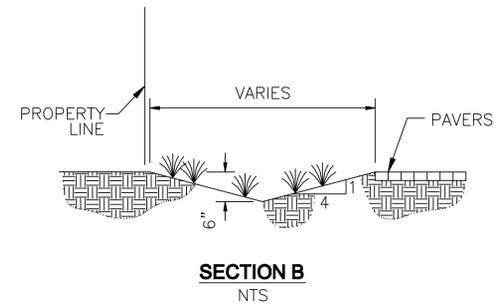
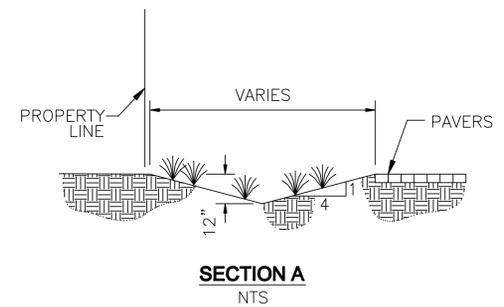
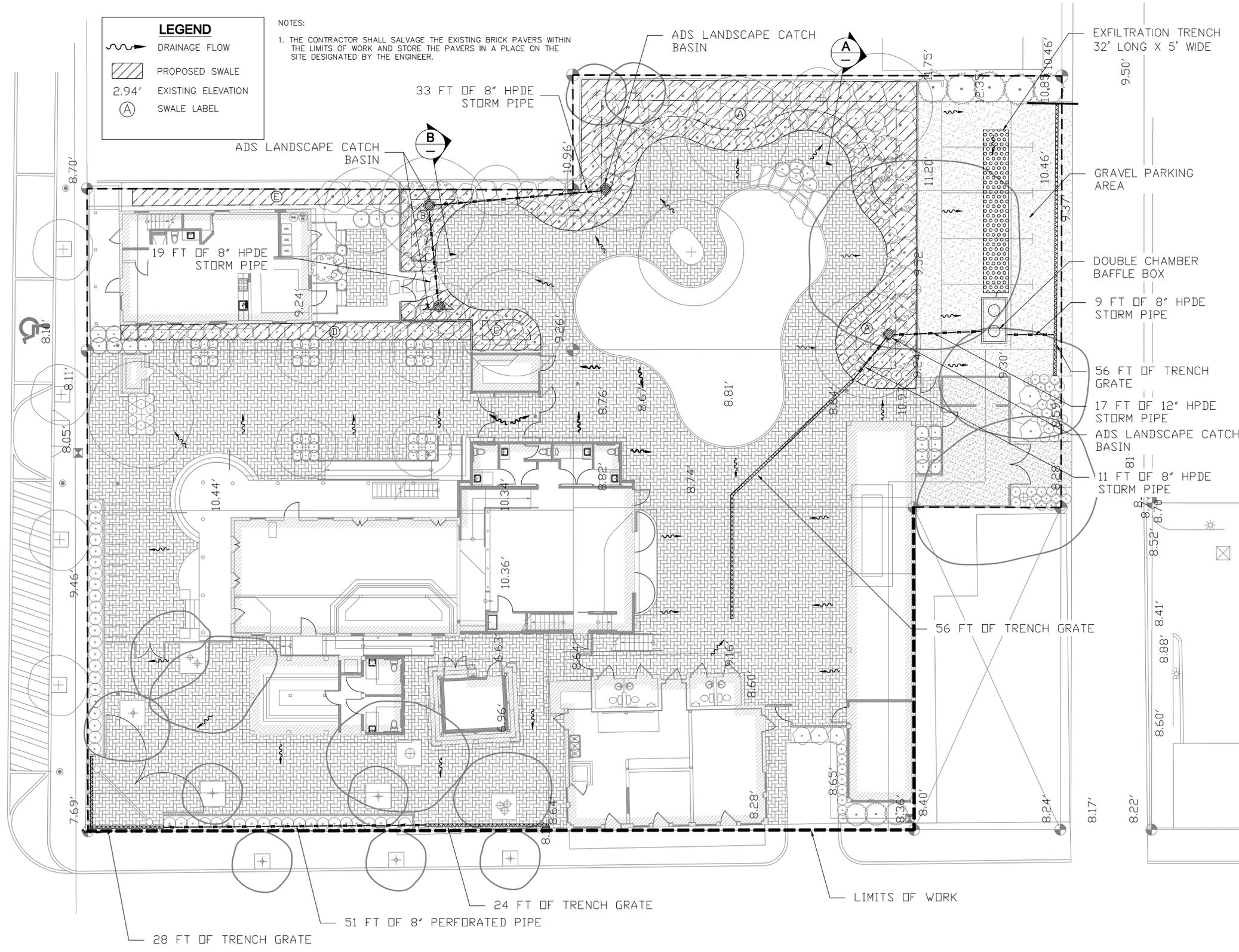
POOLS ARE NOT CONSIDERED PERVIOUS.
DOUBLE CHAMBER BAFFLE BOX AND EXFILTRATION TRENCH ARE CONSIDERED ALTERNATIVE BEST MANAGEMENT PRACTICES.
PROJECT AREA IS CLASSIFIED AS FEMA FLOOD ZONE: X.

TOTAL VOLUME PROVIDED

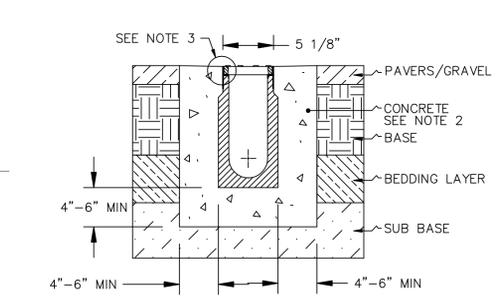
SWALE + EXFILTRATION = 1113 + 1270 = 2383 CF
APPROX. 10% EXTRA VOLUME WAS ADDED TO COMPENSATE FOR LANDSCAPING.

LEGEND
DRAINAGE FLOW
PROPOSED SWALE
2.94' EXISTING ELEVATION
SWALE LABEL

NOTES:
1. THE CONTRACTOR SHALL SALVAGE THE EXISTING BRICK PAVERS WITHIN THE LIMITS OF WORK AND STORE THE PAVERS IN A PLACE ON THE SITE DESIGNATED BY THE ENGINEER.



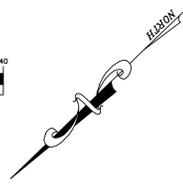
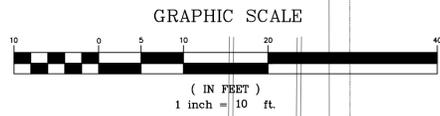
NOTES:
1. FILTER FABRIC SHALL BE MARAFI FILTERWEAVE 300 OR ENGINEER APPROVED EQUIVALENT. FILTER FABRIC SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.



NOTES:
1. IT IS NECESSARY TO ENSURE THE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR THE EXISTING GROUND CONDITIONS.
2. MINIMUM CONCRETE STRENGTH OF 4000 PSI. THE CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
3. THE FINISHED LEVEL OF THE SURROUNDING MATERIAL MUST BE APPROX. 1/8" ABOVE THE TOP OF THE CHANNEL EDGE.
4. REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR COMPLETE DETAILS.

TRENCH GRATE DETAIL

NTS



48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE UNDERGROUND
UTILITIES NOTIFICATION CENTER

EXISTING WATER METERS

EXISTING SEWER CLEANOUT

EXISTING WATER METERS

EXISTING SEWER CLEANOUT

SANITARY TRENCH (TYP)

EXISTING WATER METERS

NEW SEWER CLEANOUT

EXISTING WATER METERS

EXISTING SEWER CLEANOUT

EXISTING SEWER CLEANOUT

RELOCATE EXISTING WATER METER

EXISTING SEWER CLEANOUT

NEW SEWER CLEANOUT

NEW SEWER CLEANOUT

LEGEND

- WATER METER AND BOX
- SEWER CLEANOUT AND BOX

- WATER LINE
- SEWER LINE

GENERAL SEWER NOTES:

1. THE CONTRACTOR SHALL COORDINATE AND PAY OMI TO INSTALL AN ADDITIONAL CLEANOUT ON PETRONIA STREET.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE CITY OF KEY WEST BUILDING DEPARTMENT FOR INSPECTIONS AND TESTING OF THE GRAVITY SEWER LATERALS.
3. ALL GRAVITY SEWER LATERALS MUST BE DEMONSTRATED TO BE FREE OF ROCK AND/OR DEBRIS.
4. ALL GRAVITY SEWER LATERALS SHALL BE FLUSHED PRIOR TO TESTING. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO FLUSHING THE LINES.
5. ALL WATER AND SEWER WORK SHALL CONFORM TO 2007 FLORIDA BUILDING CODE AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

GENERAL WATER NOTES:

1. THE OWNER WILL COORDINATE WITH THE CONTRACTOR AND THE FCAA TO UTILIZE THE EXISTING WATER METERS.

THE EXISTING STRUCTURES ARE CURRENTLY CONNECTED TO EXISTING WATER METERS AND SEWER CLEANOUTS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF THE EXISTING WATER AND SEWER LINES AND CONFER WITH THE ENGINEER WHETHER OR NOT THE WATER AND/OR SEWER SERVICE NEEDS TO BE REPLACED.

ARCHITECT:
mbi | k2m
ARCHITECTURE, INC.
Architecture, Interior Design,
Procurement,
Owner Representation,
Specialty Consulting
1001 Whitehead St., Unit 101
Key West, Florida 33040
Tel: 305-294-4011
Fax: 305-292-2182
Email: info@mbi-k2m.com
URL: www.mbi-k2m.com
PROF. REG. AA26001069
Finding Innovative Solutions
Through Sustainable Design
Key West | Bimini | Islamorada | Key West | Charleston |
Houston | Chicago

Seal:

Richard J. Mjell
FL P.E. 58315
Consultants:
CIVIL ENGINEER:
Historic Tours of America
201 Front Street, Ste 201
Key West, FL 33040
Cert. of Auth. 26120

Revisions:
2010.08.26 HARC Submission
2010.07.01 Planning / DRG Submission

ISLAND INNOVATIONS REDEVELOPMENT
CORNER OF PERTRONIA AND WHITEHEAD STREETS
KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS OF KEY WEST
711 Duval Street, Key West, Florida 33040

Drawing Size: Project #:
10043

Drawn By: Checked By:

Title:

UTILITY PLAN

Sheet Number:

C-2

Date: July 1, 2010

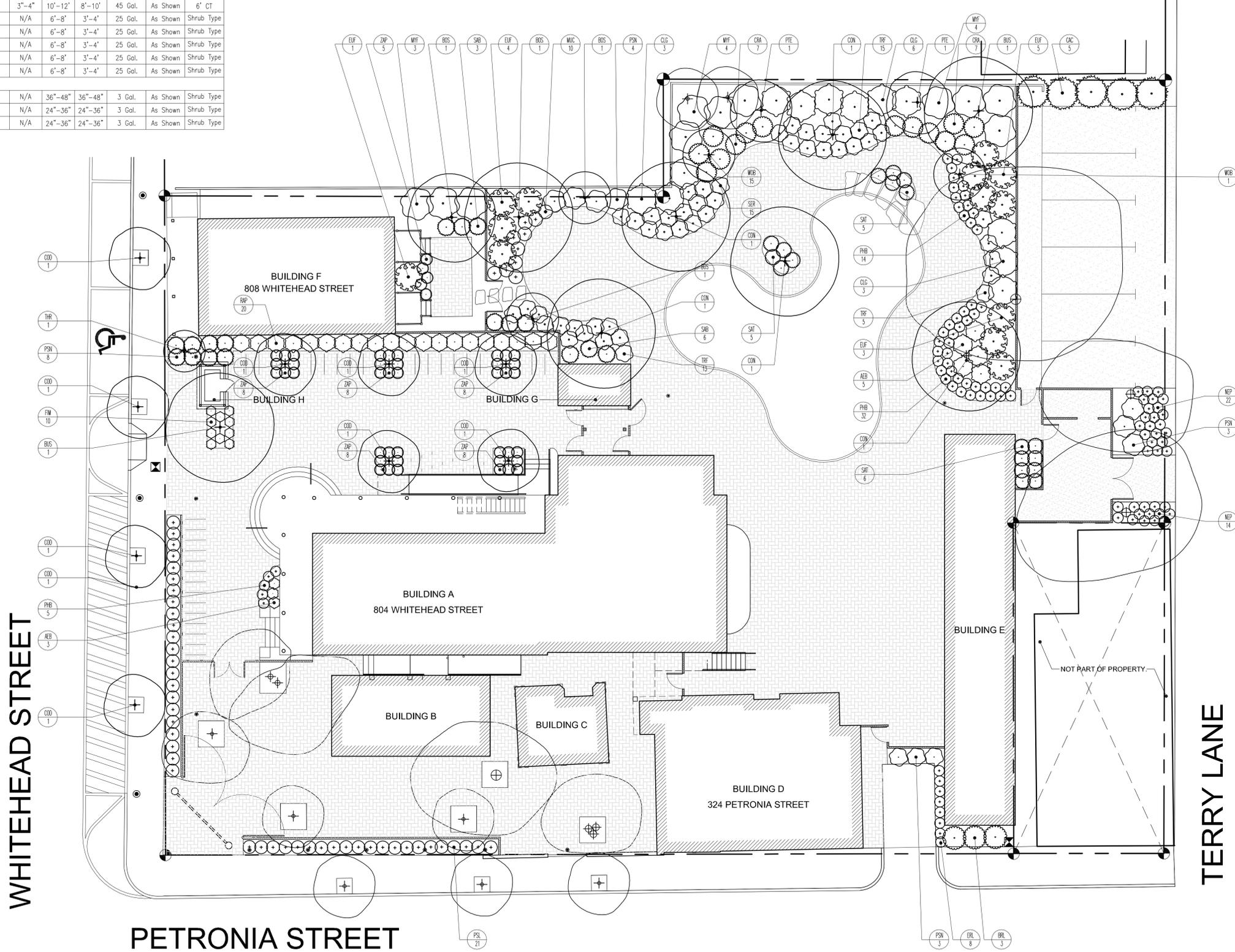
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PLANT LIST:

| SYMBOL | QUANTITY | SCIENTIFIC NAME | COMMON NAME | NATIVE | CALIPER | HEIGHT | CANOPY | CONTAINER | SPACING | CONDITION |
|-----------------------------------|----------|--------------------------|-------------------|--------|---------|---------|---------|-----------|----------|------------|
| SHADE TREES / PALMS | | | | | | | | | | |
| BUS | 2 | Bursera simaruba | Gumbo Limbo | YES | 4"-6" | 14'-16' | 12'-14' | 45 Gal. | As Shown | 6' CT |
| COD | 10 | Coccoloba diversifolia | Pigeon Plum | YES | 4"-6" | 12'-14' | 8'-10' | 45 Gal. | As Shown | 6' CT |
| CON | 5 | Cocos nucifera | Coconut Palm | NO | 12"-14" | 24'-28' | 20'-22' | B & B | As Shown | 10' CT |
| PTE | 2 | Ptychospermum elegans | Alexander Palm | NO | 3"-4" | 14'-16' | 8'-10' | B & B | As Shown | Triple |
| THR | 1 | Thrinax radiata | Thatch Palm | YES | 3"-4" | 6'-8' | 6'-8' | 45 Gal. | As Shown | Multi |
| WOB | 1 | Wodyetia bifurcata | Foxtail Palm | YES | 8"-12" | 14'-16' | 10'-12' | B & B | As Shown | Single |
| SMALL TREES / LARGE SHRUBS | | | | | | | | | | |
| BOS | 4 | Bourreria succulenta | Bahama Strongbark | YES | 3"-4" | 10'-12' | 8'-10' | 45 Gal. | As Shown | 6' CT |
| CAC | 5 | Capparis cynophallophora | Jamaica Caper | YES | N/A | 6'-8' | 3'-4' | 25 Gal. | As Shown | Shrub Type |
| CLG | 12 | Clusia guttifera | Small Leaf Clusia | NO | N/A | 6'-8' | 3'-4' | 25 Gal. | As Shown | Shrub Type |
| EUF | 13 | Eugenia foetida | Spanish Stopper | YES | N/A | 6'-8' | 3'-4' | 25 Gal. | As Shown | Shrub Type |
| MYF | 11 | Myrcianthes fragrans | Simpson Stopper | YES | N/A | 6'-8' | 3'-4' | 25 Gal. | As Shown | Shrub Type |
| RAP | 20 | Rapanea punctata | Myrsine | YES | N/A | 6'-8' | 3'-4' | 25 Gal. | As Shown | Shrub Type |
| MEDIUM SHRUBS | | | | | | | | | | |
| BRL | 3 | Brysonima lucida | Locust Berry | YES | N/A | 36"-48" | 36"-48" | 3 Gal. | As Shown | Shrub Type |
| PSN | 18 | Psychotria nervosa | Wild Coffee | YES | N/A | 24"-36" | 24"-36" | 3 Gal. | As Shown | Shrub Type |
| SAB | 9 | Savia bahamensis | Maiden Bush | YES | N/A | 24"-36" | 24"-36" | 3 Gal. | As Shown | Shrub Type |

| SYMBOL | QUANTITY | SCIENTIFIC NAME | COMMON NAME | NATIVE | CALIPER | HEIGHT | CANOPY | CONTAINER | SPACING | CONDITION |
|-----------------------------------|----------|---------------------------------|-------------------------|--------|---------|---------|---------|-----------|----------|-----------|
| SMALL SHRUBS / GROUNDCOVER | | | | | | | | | | |
| ERL | 8 | Ernodia littoralis | Golden Creeper | YES | N/A | 12"-18" | 12"-18" | 1 Gal. | As Shown | |
| FIM | 10 | Ficus microcarpa 'Green Island' | Green Island Ficus | NO | N/A | 18"-24" | 18"-24" | 3 Gal. | As Shown | |
| MUC | 10 | Muhlenbergia capillaris | Muhly Grass | YES | N/A | 12"-18" | 12"-18" | 3 Gal. | As Shown | |
| NEP | 36 | Neprolepis exaltata | Sword Fern | YES | N/A | 12"-18" | 12"-18" | 1 Gal. | As Shown | |
| PHB | 51 | Philodendron 'Burle Marx' | Burle Marx Philodendron | NO | N/A | 12"-18" | 12"-18" | 3 Gal. | As Shown | |
| PSL | 43 | Psychotria ligustrifolia | Dwarf Wild Coffee | YES | N/A | 24"-36" | 24"-36" | 3 Gal. | As Shown | |
| TRF | 33 | Tripsacum floridanum | Dwarf Fakahatchee | YES | N/A | 18"-24" | 18"-24" | 3 Gal. | As Shown | |

| SYMBOL | QUANTITY | SCIENTIFIC NAME | COMMON NAME | NATIVE | CALIPER | HEIGHT | CANOPY | CONTAINER | SPACING | CONDITION |
|----------------|----------|-------------------------------------|------------------------|--------|---------|---------|---------|-----------|----------|-----------|
| ACCENTS | | | | | | | | | | |
| AEB | 8 | Aechmea blanchetiana | Aechmea Bromeliad | NO | N/A | 24"-36" | 24"-36" | 7 Gal. | As Shown | Orange |
| CRA | 14 | Crinum augustum 'Queen Emma' | Queen Emma Crinum | NO | N/A | 24"-36" | 24"-36" | 7 Gal. | As Shown | |
| SAT | 16 | Sanseveria trifasciata 'Black Gold' | Snake Plant Black Gold | NO | N/A | 12"-18" | 12"-18" | 3 Gal. | As Shown | |
| SER | 15 | Serenoa repens | Saw Palmetto | YES | N/A | 24"-36" | 24"-36" | 7 Gal. | As Shown | Silver |
| ZAP | 45 | Zamia pumila | Coontie | YES | N/A | 24"-36" | 24"-36" | 7 Gal. | As Shown | |



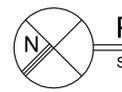
PETRONIA STREET

WHITEHEAD STREET

TERRY LANE



01
L2.1.1



PROPOSED LANDSCAPE PLAN

SCALE: 1" = 10'-0"

Elizabeth Newland
Landscape Architecture, LLC
73 North Conch Avenue
Marathon, FL 33050 tel: 305.481.6301

Seal:

Consultants:
LANDSCAPE ARCHITECT:
Elizabeth Newland
Landscape Architecture, LLC
CIVIL ENGINEER:
Historic Tours of America

Revisions:
2010.08.25 HARC Submittal
2010.07.01 Planning / DRC Submittal

ISLAND INNOVATIONS REDEVELOPMENT
CORNER OF PERTONIA AND WHITEHEAD STREETS
KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS of KEY WEST
711 Duval Street, Key West, Florida 33040

PLOTTED: 7/6/2010 10:17 AM
Drawing Size: 24x36 Project #: 10043
Drawn By: ADS Checked By: MBI

Title:
LANDSCAPE
DETAILS
AND
NOTES

Sheet Number:

L2.1.2

Date: July 1, 2010
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GENERAL NOTES:

- General Contractor and Landscape Contractor are responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to Landscape Contractor digging. Utility trenching is to be coordinated by General Contractor with the Landscape plans prior to beginning of project. The Owner, Architect or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for future extras or complaints.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- The General Contractor and Landscape Contractor are responsible for coordinating root pruning that may be necessary due to excavation and tree and palm removals on the Tree Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- Landscape Contractor to provide finish grade in plant beds and planters 3" lower than finish elevation of hardscape elements to accommodate 3" layer of mulch. Hardscape elements include roads, driveways, curbs, sidewalks and planters.

PLANTING NOTES:

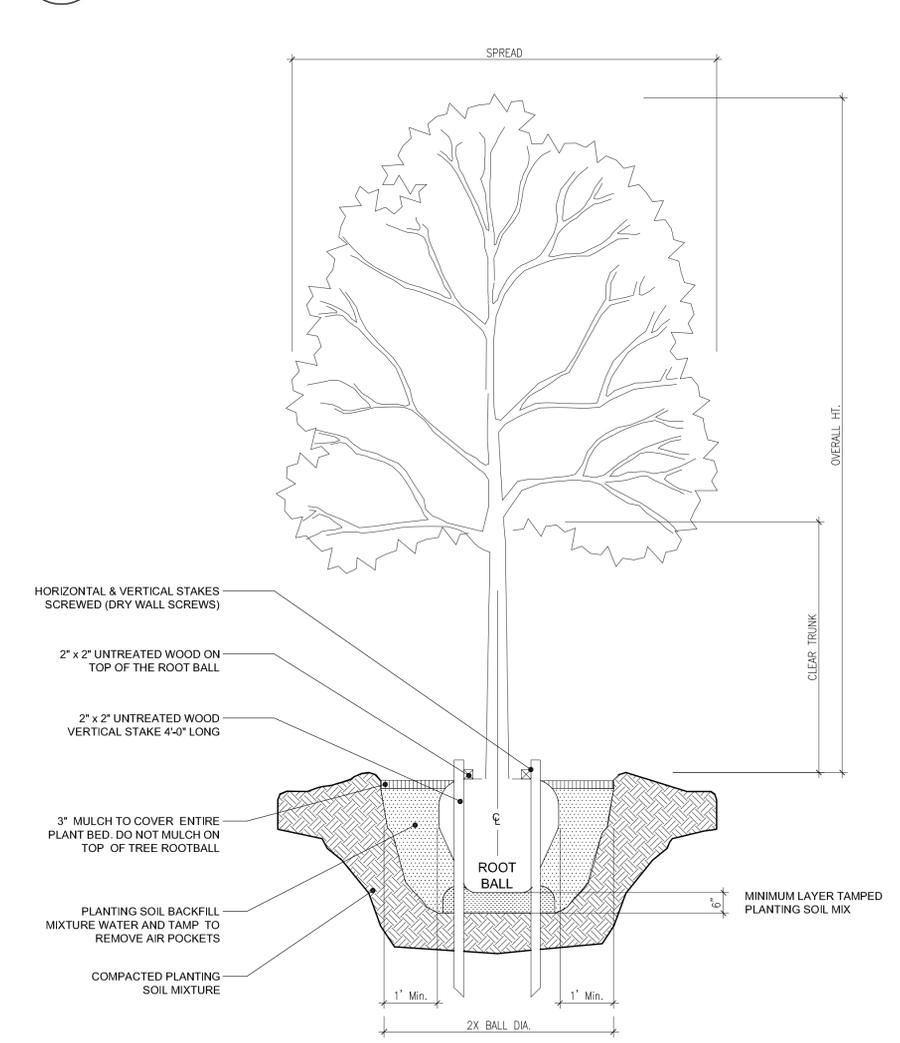
- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, preemergence herbicide, seed, and mulch.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor shall coordinate work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat new plant areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after preemergence treatment prior to planting.
- Planting soil shall be a mix of 30% inland muck and 70% freshwater sand. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for groundcovers, shrubs, palms and trees shall be as per details.
- All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of the burlap shall be removed or tucked into the plant pit before the trees are backfilled.
- Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviromulch immediately after planting. In no case shall Cypress mulch or red mulch be used.
- All Trees/Palms in sod areas are to receive a mulched saucer with width of the plant pit.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No paint shall be applied to any surface of trees or palms. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches and clear trunk branches are to be pruned according to ANSI A-300 Guidelines for Tree Pruning to min. 5'-0" height clearance to the base of canopy.
- Landscape Contractor to provide all plants with fertilizer 30 days after installation. Fertilizer shall comply with state fertilizer laws. It shall have a chemical designation as indicated for each type of plant.
Palms: 12-4-12 N-P-K, Slow Release Palm Special with micronutrients.
Shrubs, Groundcover and Trees: 6-6-6 N-P-K, with micronutrients.

TREE PROTECTION NOTES:

- Before beginning work, the General Contractor is required to meet at the site with the Landscape Architect and the Owner to review all work procedures, access routes, storage areas, and tree protection measures.
- The General Contractor is required to coordinate with the Landscape Architect to determine the amount of tree canopy if any that the General Contractor will be responsible for thinning to compensate for the root loss, still leaving the entire shape of the canopy intact. The thinning shall be as per the ANSI A-300 Standards.
- The General Contractor shall erect fences to protect trees to be preserved as per Tree Protection Detail 02/L2.1.2, Landscape Plan L2.1.1 and Tree Disposition Plan L1.1.1. Fences define a specific protection zone for each tree or group of trees to be protected. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect or the Owner.
- Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
- All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
- No construction materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone (fenced area).
- Additional tree pruning required for clearance during construction shall be trimmed as per ANSI A-300 Standards and not by construction personnel.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
- If injury should occur to any tree during construction, the General Contractor is responsible for notifying the Landscape Architect and Owner as soon as possible for evaluation so that appropriate treatments can be applied.
- The General Contractor shall notify the Landscape Architect and the Owner of any grading, construction, demolition, or other work that is expected to encounter tree roots.
- All trees to remain on site shall be irrigated three times a week for the duration of construction. At each irrigation procedure shall apply to the soil area within the tree protection zone 2-3 gallons of water per inch of trunk caliper.
- Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree protection zone.
- Before grading, pad preparation, or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots cleanly to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
- If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
- Spill from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
- No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
- Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.

04 SHRUB PLANTING DETAIL

SCALE: N.T.S.



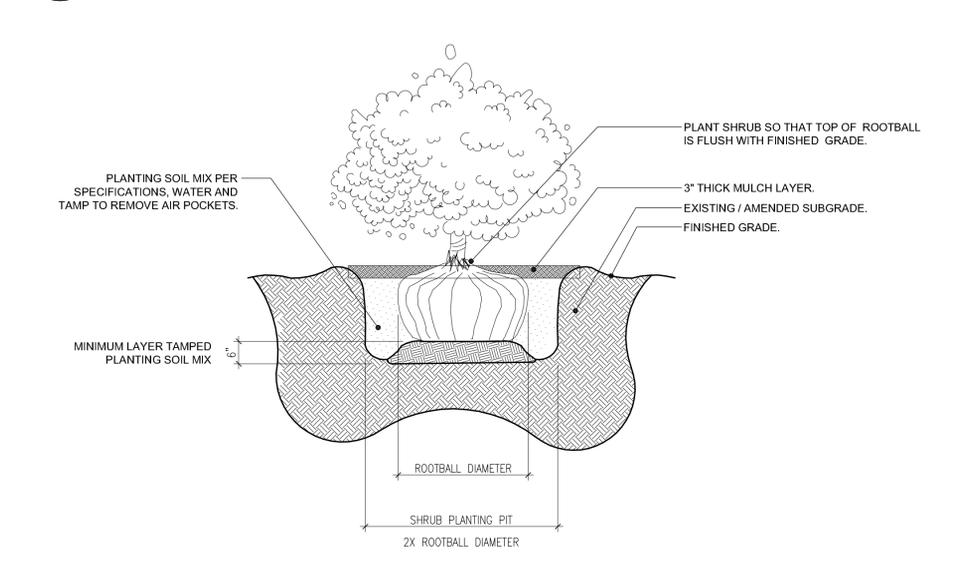
03 TREE PLANTING DETAIL

SCALE: N.T.S.



02 TREE PROTECTION DETAIL

SCALE: N.T.S.



01 SHRUB PLANTING DETAIL

SCALE: N.T.S.



Elizabeth Newland
Landscape Architecture, LLC
73 North Conch Avenue
Marathon, FL 33050 tel: 305.481.6301

Seal:

Consultants:

LANDSCAPE ARCHITECT:
Elizabeth Newland
Landscape Architecture, LLC
CIVIL ENGINEER:
Historic Tours of America

Revisions:

2010.06.25 MARC Submission
2010.07.01 Planning / DRC Submission

ISLAND INNOVATIONS REDEVELOPMENT
CORNER OF PETRONIA AND WHITEHEAD STREETS
KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS of KEY WEST
711 Duval Street, Key West, Florida 33040

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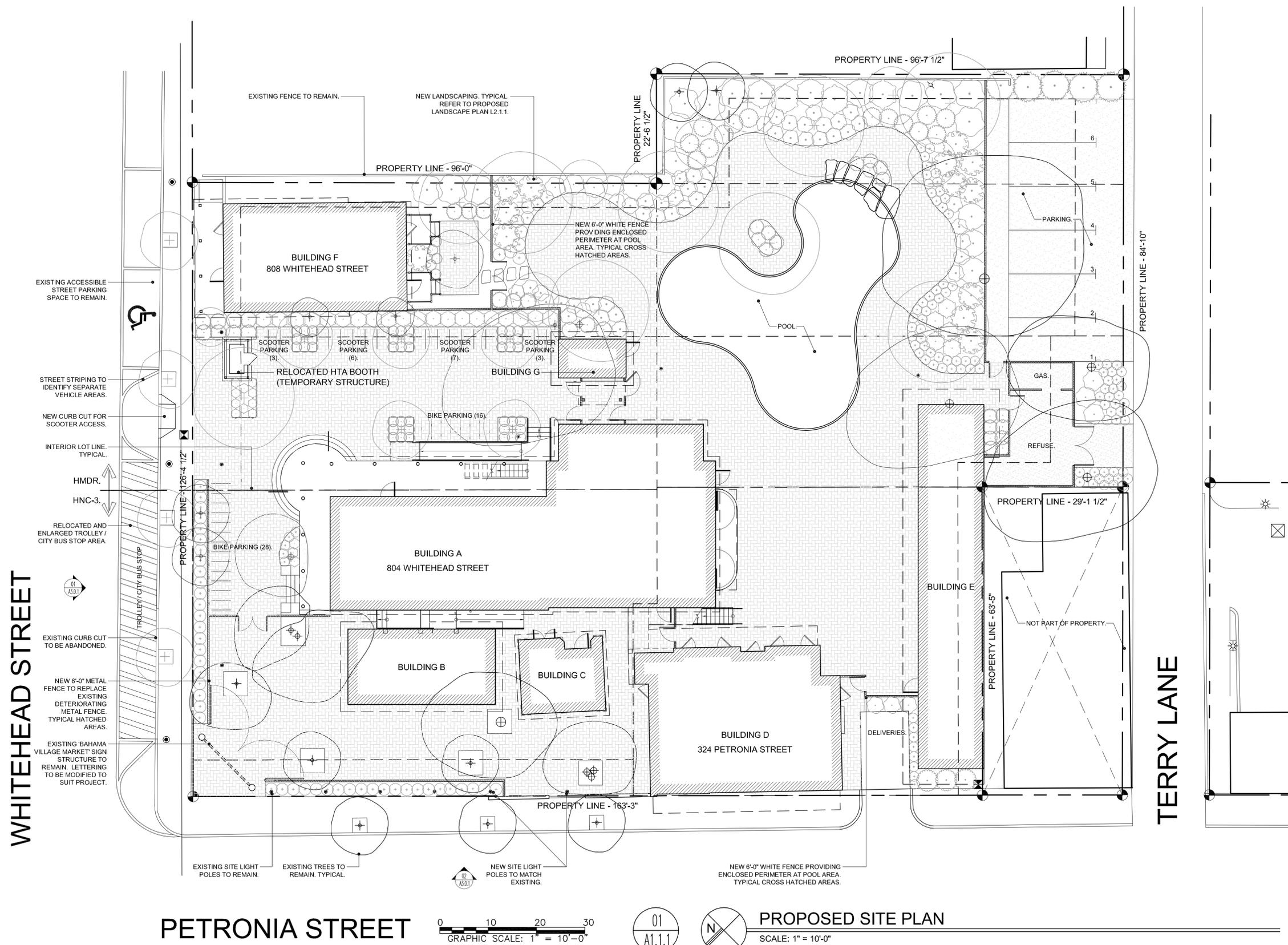
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Sheet Number:

A1.1.1

Date: July 1, 2010

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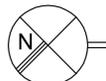
WHITEHEAD STREET

TERRY LANE

PETRONIA STREET



01
A1.1.1



PROPOSED SITE PLAN

SCALE: 1" = 10'-0"

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Seal:

Consultants:

LANDSCAPE ARCHITECT:
Elizabeth Newland
Landscape Architecture, LLC
Civil Engineer:
Historic Tours of America

Revisions:

2010.06.25 MARC Submission
2010.07.01 Planning / DRC Submission

ISLAND INNOVATIONS REDEVELOPMENT
CORNER OF PETRONIA AND WHITEHEAD STREETS
KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS of KEY WEST
711 Duval Street, Key West, Florida 33040

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Title:

SITE
STATISTICS

Sheet Number:

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Date: July 1, 2010

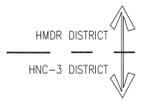
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CONSUMPTION AREA LEGEND:

-  PROPOSED CONSUMPTION AREA.
-  EXISTING CONSUMPTION AREA TO BE REMOVED.
-  PERIMETER OF EXISTING CONSUMPTION AREA TO BE REMOVED.

CONSUMPTION AREA NOTES:

- CONSUMPTION AREA IS THE EXTERIOR AREAS OF THE SITE INTENDED FOR THE CONSUMPTION OF FOOD AND/OR BEVERAGE.
- THE CONSUMPTION AREA HAS BEEN OMITTED FROM THE AREA INCLUDING AND ADJACENT TO THE SWIMMING POOL IN ACCORDANCE WITH THE FLORIDA POOL CODE AND FLORIDA BUILDING CODE, SECTION 424.1.3.1.7, FOOD AND/OR BEVERAGE SERVICE MAY NOT BE LOCATED WITHIN 12'-0" OF A WATERS EDGE.



WHITEHEAD STREET

PETRONIA STREET

TERRY LANE

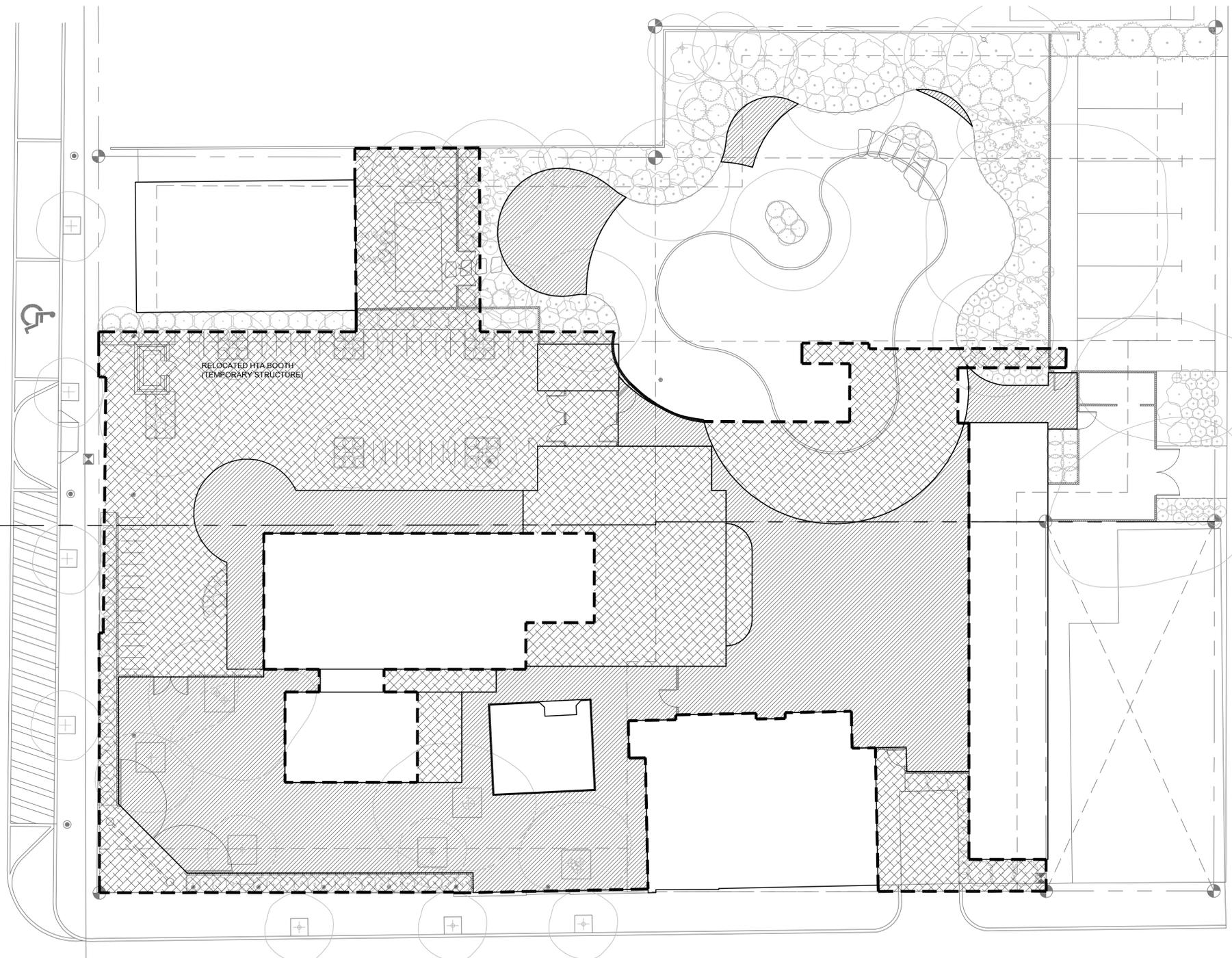


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CONSUMPTION AREA PLAN

SCALE: 1" = 10'-0"



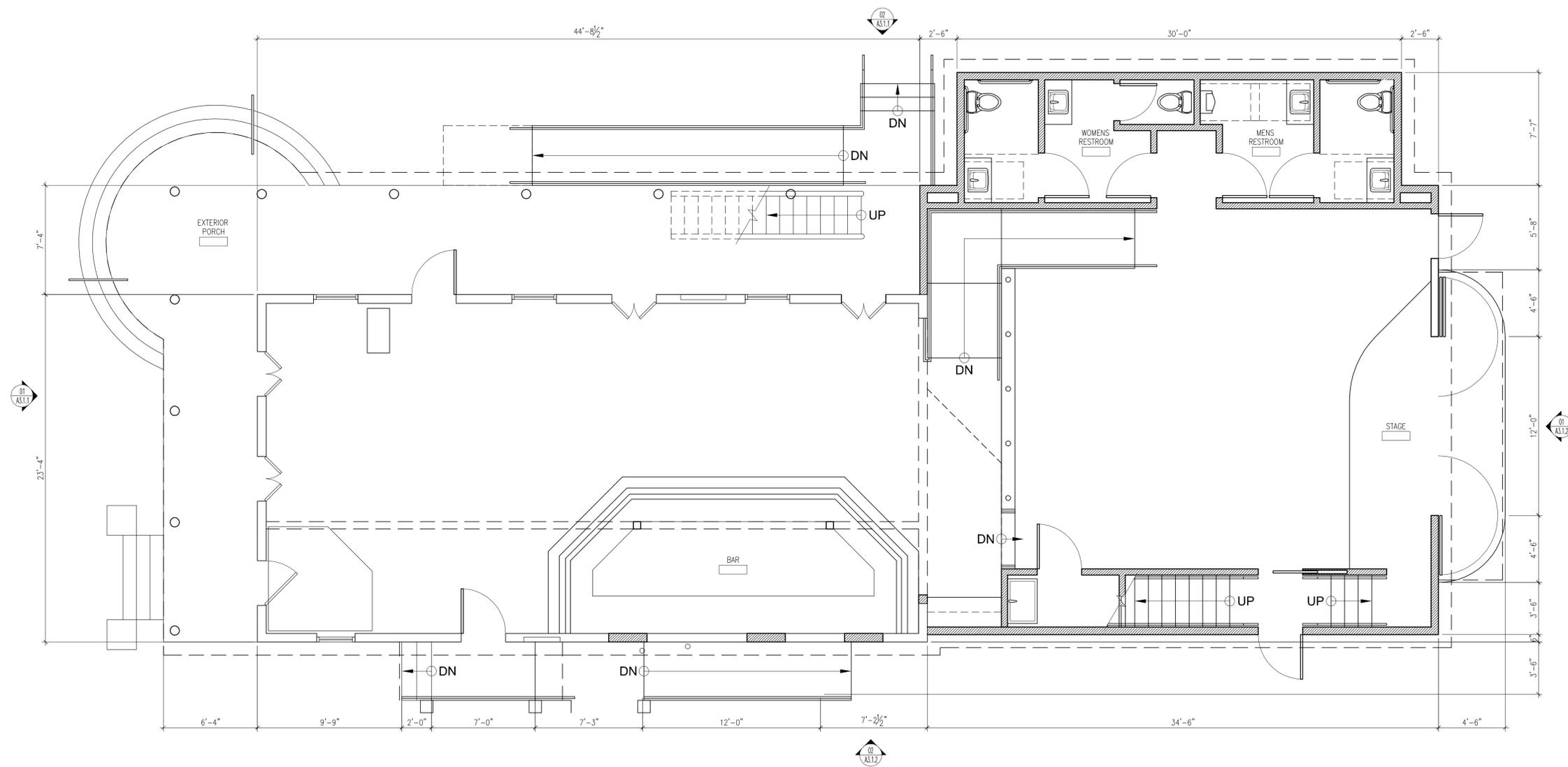
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LANDSCAPE ARCHITECT:
Elizabeth Newland
Landscape Architecture, LLC
CIVIL ENGINEER:
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Revisions:

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2010.07.01 Planning / DBC Submission



01 BUILDING A - FIRST FLOOR PLAN
A2.1.1 SCALE: 1/4"=1'-0"

ISLAND INNOVATIONS REDEVELOPMENT
CORNER OF PERTRONIA AND WHITEHEAD STREETS
KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS OF KEY WEST
711 Duval Street, Key West, Florida 33040

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Title:
BUILDING A
FIRST
FLOOR
PLAN

Sheet Number:

A2.1.1

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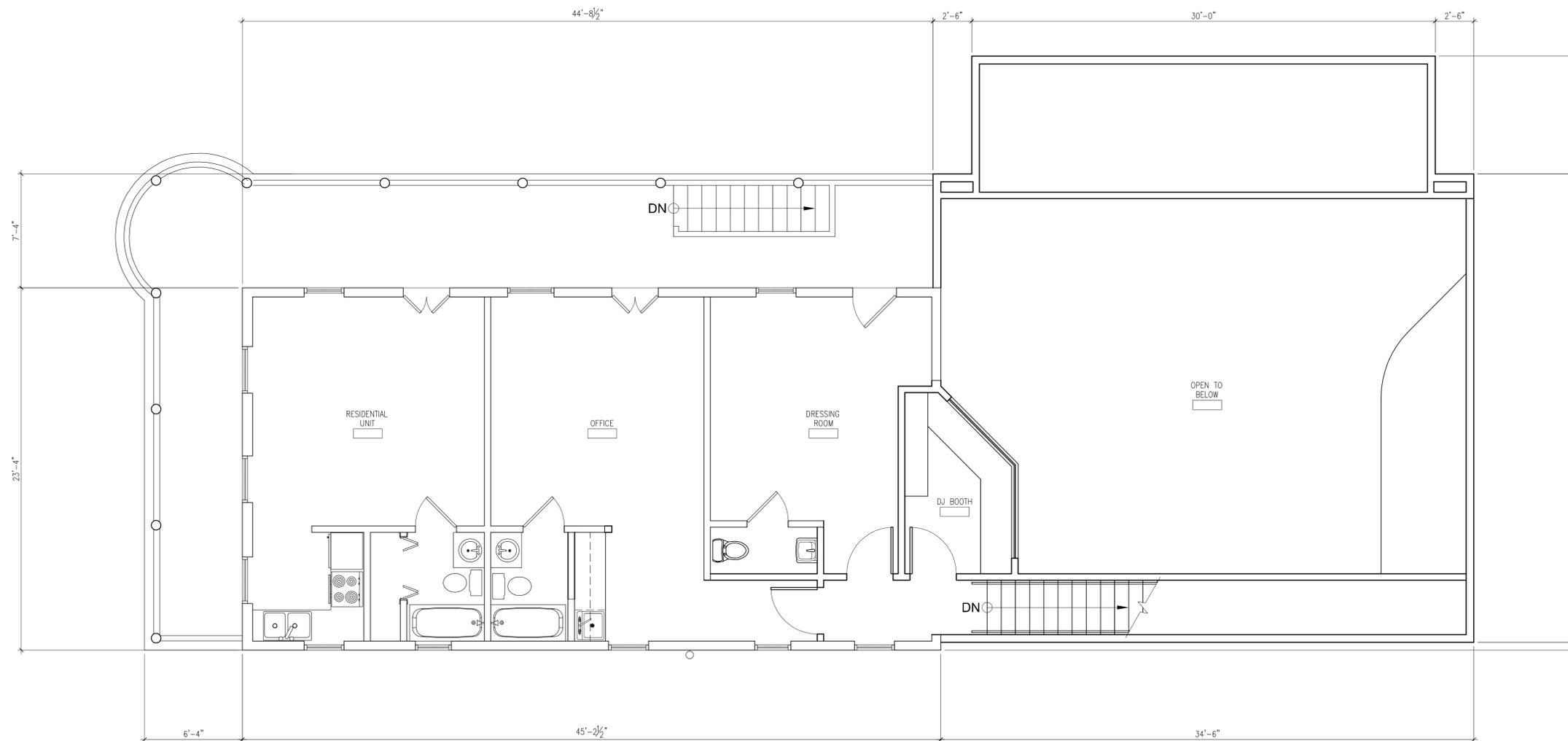
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Consultants:

LANDSCAPE ARCHITECT:
Elizabeth Newland
Landscape Architecture, LLC
CIVIL ENGINEER:
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Revisions:

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2010.07.01 Planning / DRC Submission



01
A2.1.2

BUILDING A - SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

ISLAND INNOVATIONS REDEVELOPMENT
CORNER OF PERTRONIA AND WHITEHEAD STREETS
KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS OF KEY WEST
711 Duval Street, Key West, Florida 33040

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Title:
**BUILDING A
SECOND
FLOOR
PLAN**

Sheet Number:

A2.1.2

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Landscape Architecture, LLC
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Revisions:

2010.06.25 MARC Submission
2010.07.01 Planning / DRC Submission

ISLAND INNOVATIONS REDEVELOPMENT
CORNER OF PERTRONIA AND WHITEHEAD STREETS
KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS of KEY WEST
711 Duval Street, Key West, Florida 33040

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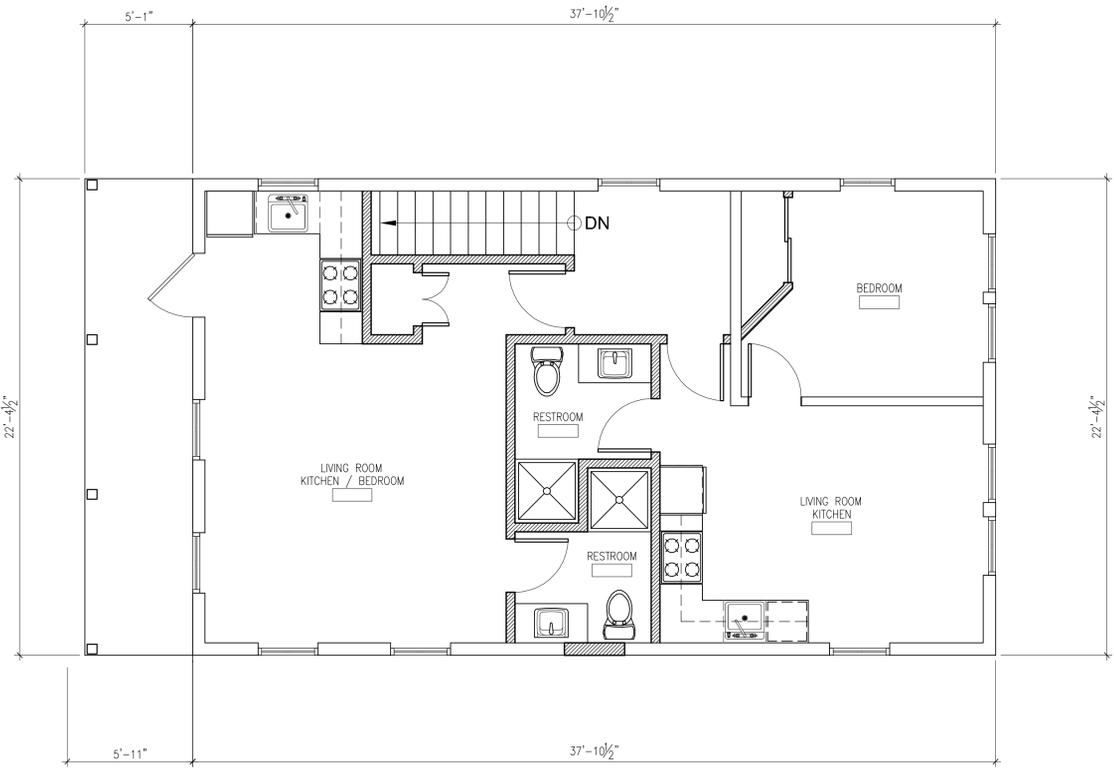
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| Drawing Size 24x36 | Project #: 10043 |
| Drawn By: ADS | Checked By: MBI |

Title:
**BUILDINGS
E AND F
FLOOR
PLANS**

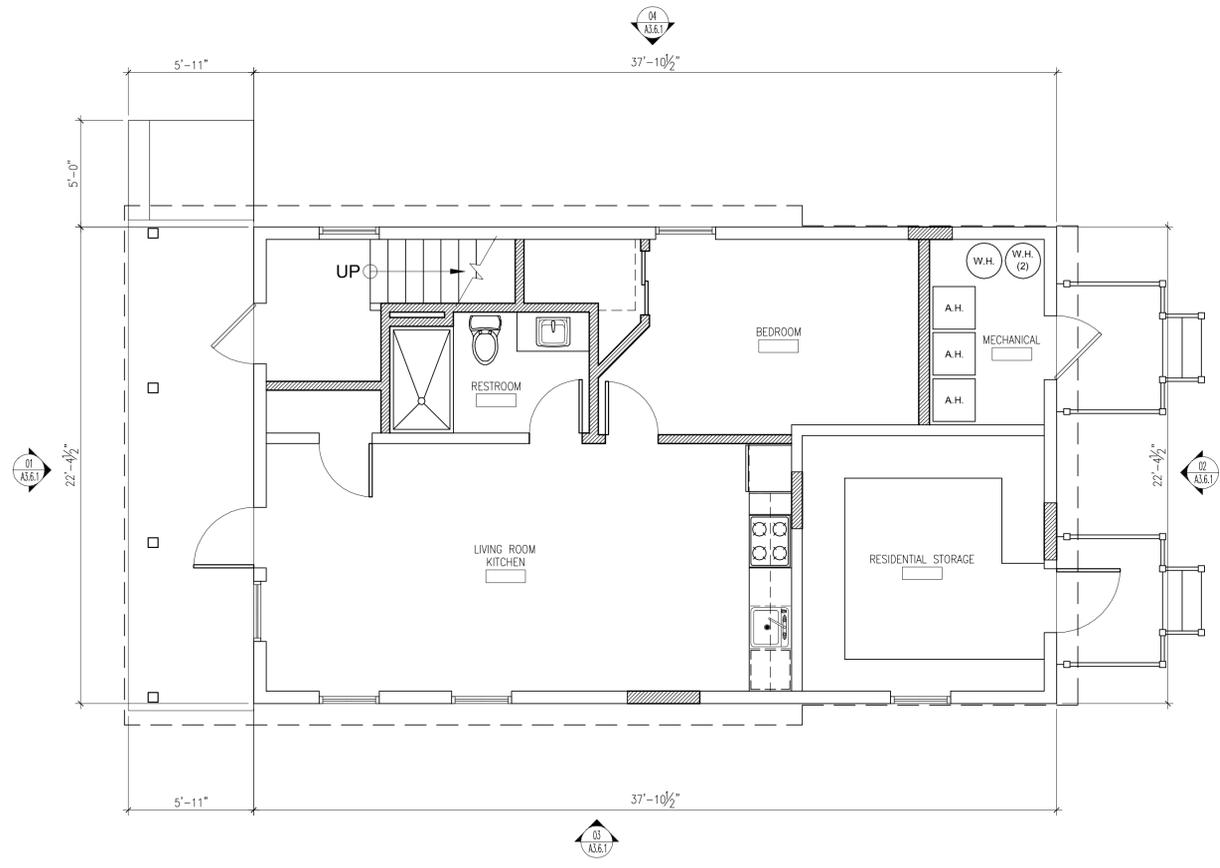
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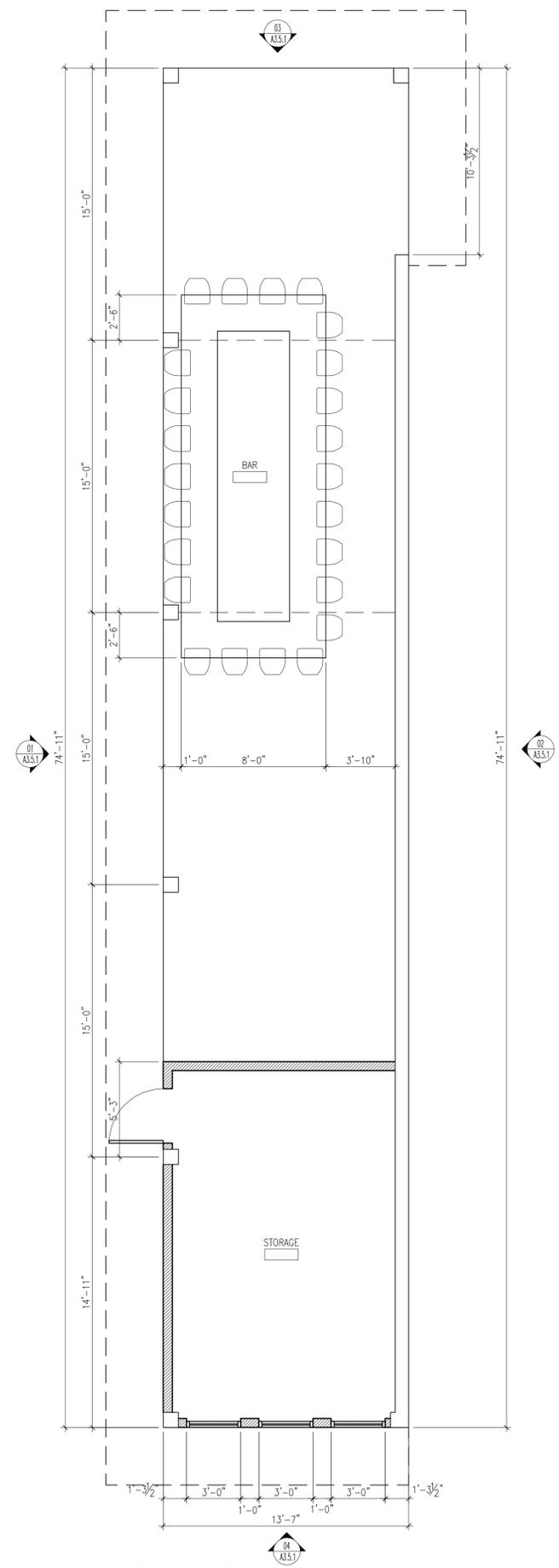
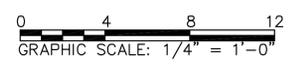
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03
A2.3.1 **BUILDING F - SECOND FLOOR PLAN**
SCALE: 1/4"=1'-0"



02
A2.3.1 **BUILDING F - FIRST FLOOR PLAN**
SCALE: 1/4"=1'-0"



01
A2.3.1 **BUILDING E - FIRST FLOOR PLAN**
SCALE: 1/4"=1'-0"

Seal:

Consultants:

LANDSCAPE ARCHITECT:
Elizabeth Newland
Landscape Architecture, LLC
Civil Engineer:
Historic Tours of America

Revisions:

2010.06.25 MARC Submission
2010.07.01 Planning / DRG Submission

WHITEHEAD STREET



02
A3.0.1

OVERALL NORTH SITE ELEVATION (PETRONIA STREET)

SCALE: 1/8"=1'-0"

ISLAND INNOVATIONS REDEVELOPMENT
CORNER OF PETRONIA AND WHITEHEAD STREETS
KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS of KEY WEST
711 Duval Street, Key West, Florida 33040

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Title: **OVERALL SITE ELEVATIONS**

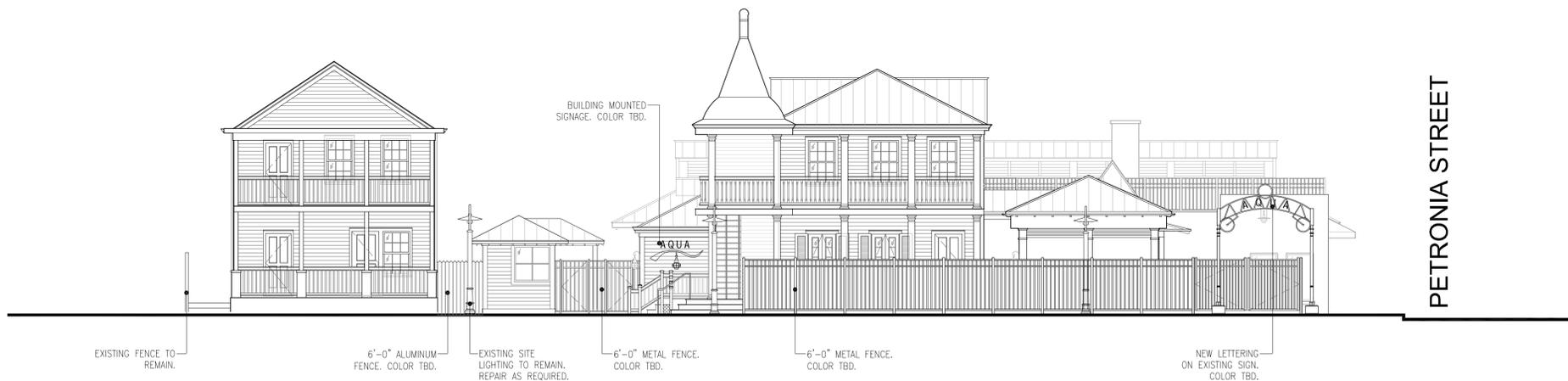
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PETRONIA STREET



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GRAPHIC SCALE: 1/8" = 1'-0"

01
A3.0.1

OVERALL EAST SITE ELEVATION (WHITEHEAD STREET)

SCALE: 1/8"=1'-0"

Seal:

Consultants:

LANDSCAPE ARCHITECT:
Elizabeth Newland
Landscape Architecture, LLC
CIVIL ENGINEER:
Historic Tours of America

Revisions:

2010.06.25 MARC Submission
2010.07.01 Planning / DRG Submission

ISLAND INNOVATIONS REDEVELOPMENT
CORNER OF PERTONIA AND WHITEHEAD STREETS
KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS OF KEY WEST
711 Duval Street, Key West, Florida 33040

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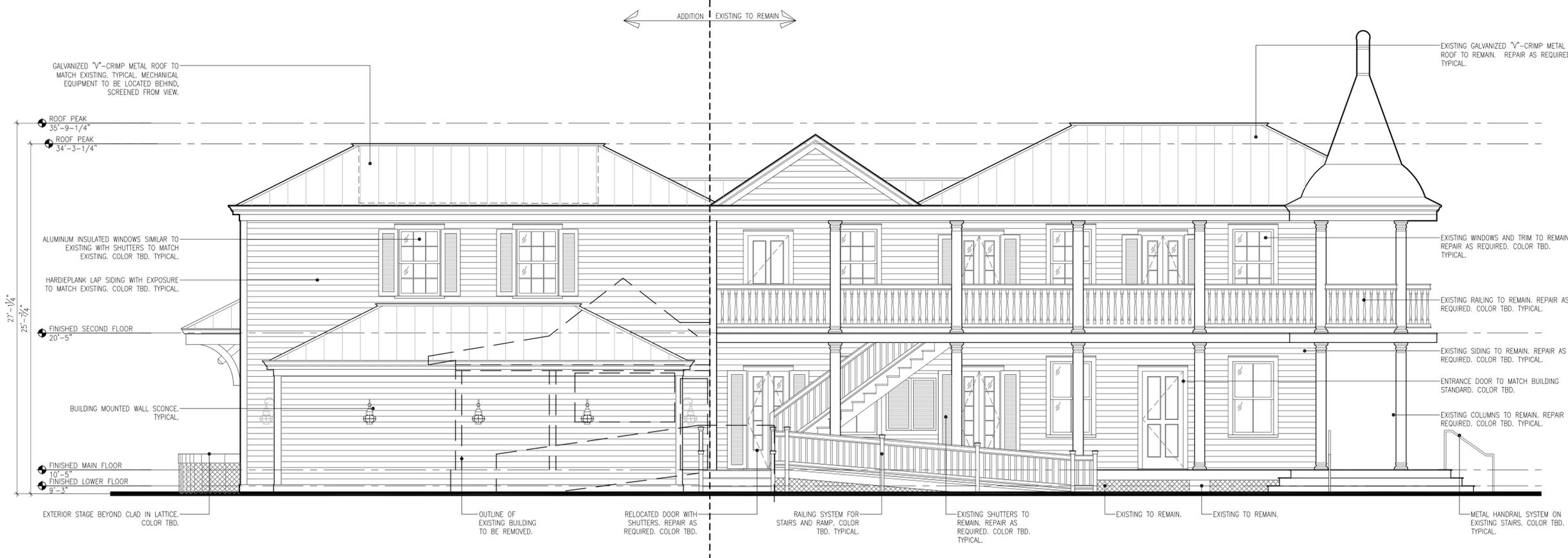
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ADS | MBI

Title:
BUILDING A
EXTERIOR
ELEVATIONS

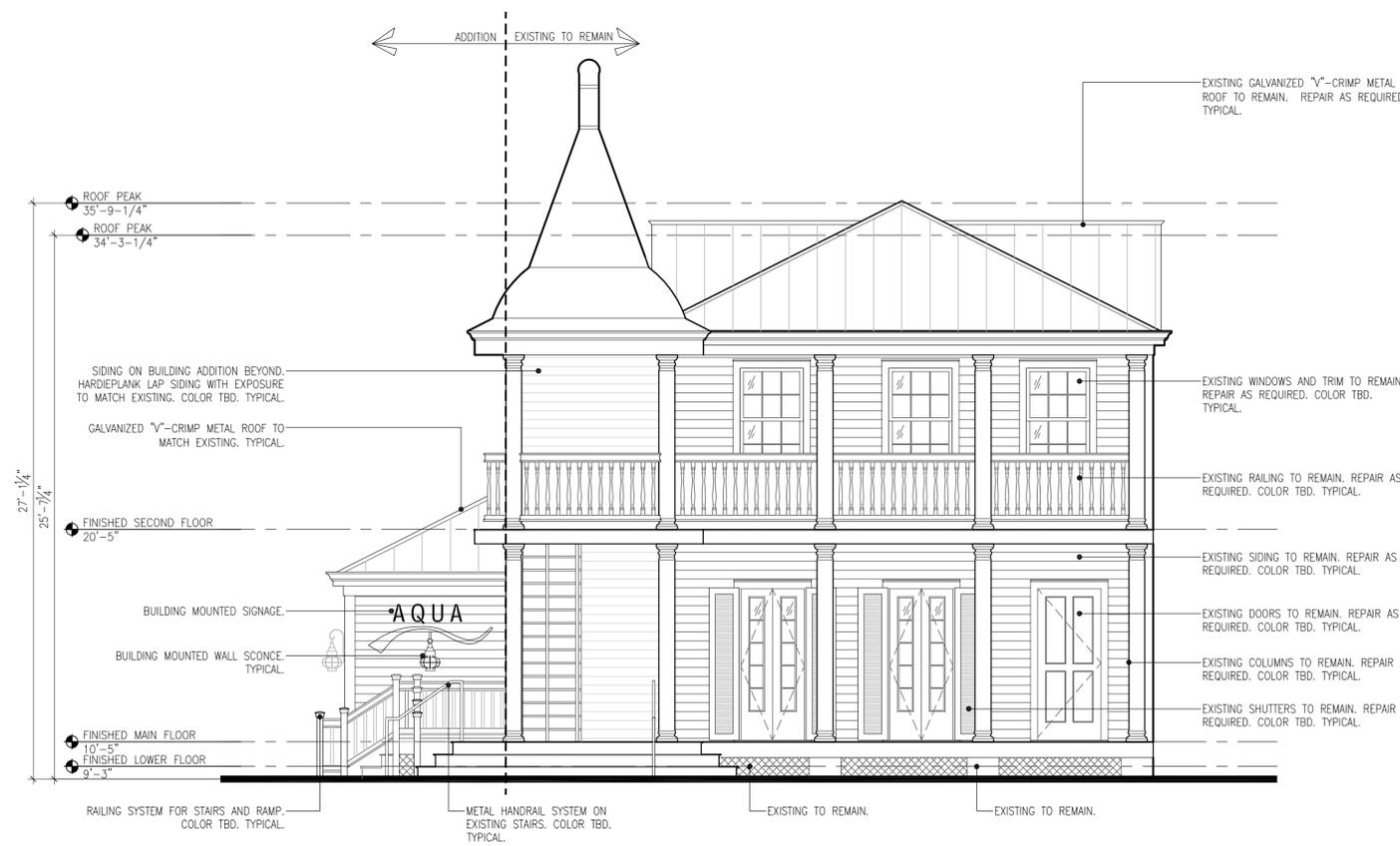
Sheet Number:

A3.1.1

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02 BUILDING A - SOUTH ELEVATION
A3.1.1 SCALE: 1/4"=1'-0"



01 BUILDING A - EAST ELEVATION (WHITEHEAD STREET)
A3.1.1 SCALE: 1/4"=1'-0"



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Consultants:
LANDSCAPE ARCHITECT:
Elizabeth Newland
Landscape Architecture, LLC
Civil Engineer:
Historic Tours of America

Revisions:
2010.06.25 MARC Submission
2010.07.01 Planning / DRC Submission

ISLAND INNOVATIONS REDEVELOPMENT
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KEY WEST, FLORIDA 33040
ISLAND INNOVATIONS of KEY WEST
711 Duval Street, Key West, Florida 33040

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Drawing Size: 24x36 | Project #: 10043
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Title:
BUILDING F EXTERIOR ELEVATIONS

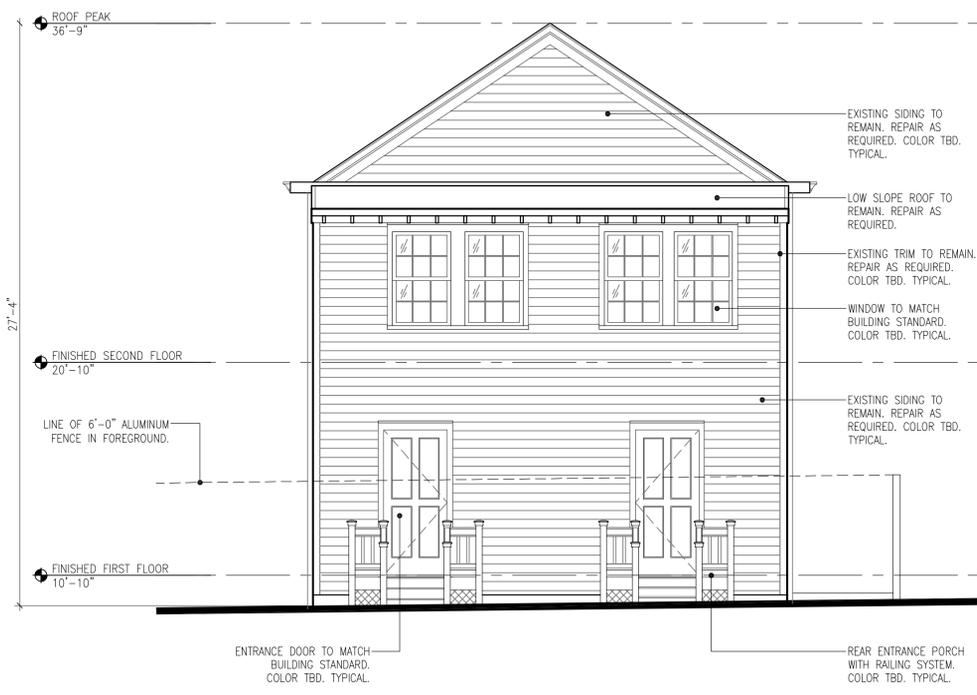
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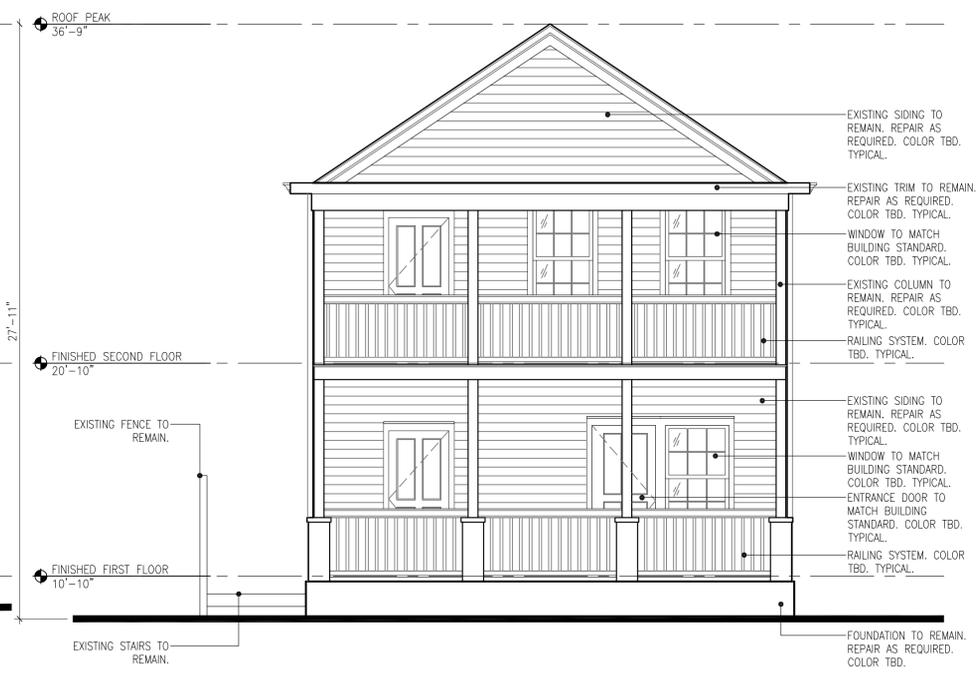
04
A3.6.1
BUILDING F - SOUTH ELEVATION
SCALE: 1/4"=1'-0"



02
A3.6.1
BUILDING F - WEST ELEVATION
SCALE: 1/4"=1'-0"



03
A3.6.1
BUILDING F - NORTH ELEVATION
SCALE: 1/4"=1'-0"



01
A3.6.1
BUILDING F - EAST ELEVATION (WHITEHEAD STREET)
SCALE: 1/4"=1'-0"



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