



THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3883

ADDENDUM NO. 1

Glynn Archer Gym Repairs – ITB 18-028

This addendum is issued as supplemental information to the bid package for clarification of certain matters of both a general and a technical nature. The referenced Invitation to Bid (ITB) package is hereby amended in accordance with the following items:

Documents attached with this Addendum:

- 1) *Missing existing condition drawings, pages EX 1 – EX 5*
- 2) *The Architect's construction estimate*
- 3) *Pre-Bid Sign In-Sheet and Meeting Minutes*
- 4) *Revised Bid Proposal form*

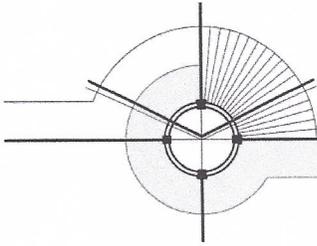
Additional clarifications and Information:

- 1) *The bid opening date has been revised to **3:00 pm, July 25, 2018 in the City Clerk's office.***
- 2) *During the Pre-Bid, it was stated that the Gym would be opened every morning for additional viewing; however, that statement is hereby rescinded. The Gym will be made available for viewing on July 18, 2018 from 8:00 am till noon.*
- 3) *The attached Bid Proposal Form has been amended to:*
 - a. *Provide in the base bid cost to remove and replace 30% of the existing wood roof decking and joists. Additionally, provide a unit prices to remove and replace additional (or as a credit for less) for decking, and joists.*
 - b. *Provide in the base bid cost to remove and replace 30% of the existing wood finished floor and 20% of the existing wood sub-floor. Additionally, provide a unit price to remove and replace additional (or as a credit for less) for finished floor sub-floor.*

All Bidders shall acknowledge receipt and acceptance of this Addendum No. 1 with Attachment by submitting the addendum with their proposal. Proposals submitted without acknowledgement or without this Addendum may be considered non-responsive.

Signature

Name of Business



DATE: 06/14/18

**GYM RENOVATION PROJECT
1300 WHITE STREET
KEY WEST, FL 33040**

PRELIMINARY COST ESTIMATES

PROJECT SCOPE INCLUDES RENOVATING THE INTERIOR AND EXTERIOR OF THE EXISTING ONE STORY MASONRY HISTORIC GYM BUILDING LOCATED BEHIND CITY HALL AND THE ROOF OF THE SOS BUILDING BEHIND THE GYM. WORK INCLUDES NEW ROOFING, WINDOWS, DOORS, A/C, PLUMBING, ELECTRIC AND PAINT. NEW RESTROOMS, STORAGE AND A MEZZANINE STORAGE AREA (INCLUDING A NEW FLOOR STRUCTURE) HAS BEEN ADDED. DEMOLITION OF THE EXISTING WOOD BLEACHERS IS INCLUDED.

MAIN GYM BUILDING

INTERIOR SPACE	
5,569 SF X \$250/SF=	\$1,392,250.00
MEZZANINE & STAIR	
940 SF X \$150/ SF=	\$141,000.00
MAIN ROOF	
5569 SF X \$30/SF=	\$167,070.00
INTERMEDIATE ROOFS	
1,210 SF X \$15/SF=	\$18,150.00
DEMOLITION=	\$25,000.00
SUB- TOTAL=	\$1,743,470.00
CONTIGENCY @ 10%=	\$174,347.00
TOTAL=	\$1,917,817.00
SOS ROOF	
4,116 SF X \$35/SF=	\$144,060.00



THE CITY OF KEY WEST
1300 White Street, Key West, FL 33040 (305) 809-3963

Glynn Archer Gymnasium Renovations Pre-Bid Meeting Minutes

Introductions and sign in

- 1) **See Addendum #1 for sign-in sheet**

Project Summary

- 1) Interior renovations of the existing gym building to include new ADA compliant restrooms, new interior configuration, mechanical system, plumbing and electrical work. Selective interior demolition to include existing bleachers, sub-floor and restrooms. Exterior work to include replacing windows and doors to match original, new white single ply roofing system inclusive of insulation and concrete spalling repair.
 - a. **See Addendum #1 for details regarding scope.**

Contract Time and Estimated ITB Bid Schedule

- 1) Time of Completion
 - a. The time of completion of the work to be performed under this Contract is the essence of the Contract. Delays and extensions of time may be allowed in accordance with the provisions stated in the General Conditions. When the Contractor receives a Notice to Proceed, he shall commence work as soon as possible and shall complete all work within the number of calendar days stipulated in this Bid. The term of this contract will be **365** calendar days.
 - i. **Nothing Follows**
- 2) No work periods
 - a. As directed by Owner
 - i. **Nothing Follows**
- 3) Final date for inquiries
 - a. July 3, 2018
 - i. **CHANGED: New Date, July 10, 2018**
- 4) Final Addendum issued
 - a. July 6, 2018
 - i. **CHANGED: New Date, July 17, 2018**
- 5) Bids due by
 - a. July 11, 2018
 - i. **CHANGED: New Date, 3:00 pm July 25, 2018**
 - b. Estimated Notice of Award August 13, 2018
 - i. **No Change**
 - c. Estimated Notice to Proceed September 3, 2018
 - i. **No Change**

Allowances

- 1) There is a \$50,000 permitting and utility fee allowance. This allowance is to be used for any permits and associated fees (AIPP, FKAA, KES, etc.) required for the completion of this project. The \$50,000 has been added as a line item in the Schedule of Values included with the Contract Documents.

Allowances Continued

- 1) See addendum #1 for unit price allowances for the roof structure and flooring repair.

Subcontractors

- 1) All subcontractors including but not limited to electrical, plumbing, carpentry, concrete shall be identified in proposal.
 - a. **Nothing Follows**

Staging and parking

- 1) See attached aerial for the location of contractor parking, equipment staging and laydown area. Contractor parking will be limited to 2 parking spaces on the North side of the Gym and the laydown area will be adjacent to Seminary in the right of way on the East side of the building.
 - a. **See attached aerial for laydown and parking locations**

Working hours

- 1) City of Key West has a noise ordinance that allows working hours between 8:00 AM to 7:00 PM, Monday through Friday and 9:00 AM to 5:00 PM Saturday.
 - a. **Nothing Follows**

Job site security

- 1) Contractor shall be responsible for all safety and security of everything inside the designated limit of work.
 - a. **Nothing Follows**

Limit of Work

- 1) Northside: From the face of the building out to the extent of the adjacent parking space
- 2) Eastside: From the face of the building to the edge of Seminary Street
- 3) Southside: To be determined (area is adjacent to the SOS kitchen)
- 4) Westside: From the face of the building out +/- 16.5' (edge of the sidewalk)
 - a. **Nothing Follows**

Existing Utilities

- 1) Contractor is responsible for utility location. Notify all utility offices which are affected by construction operations a minimum of 48 hours in advance. Where utility relocation is required in documents, contractor shall coordinate with utility. Relative to the stage of construction, limited water and power needs will be provided by the Owner.
 - a. **Nothing Follows**

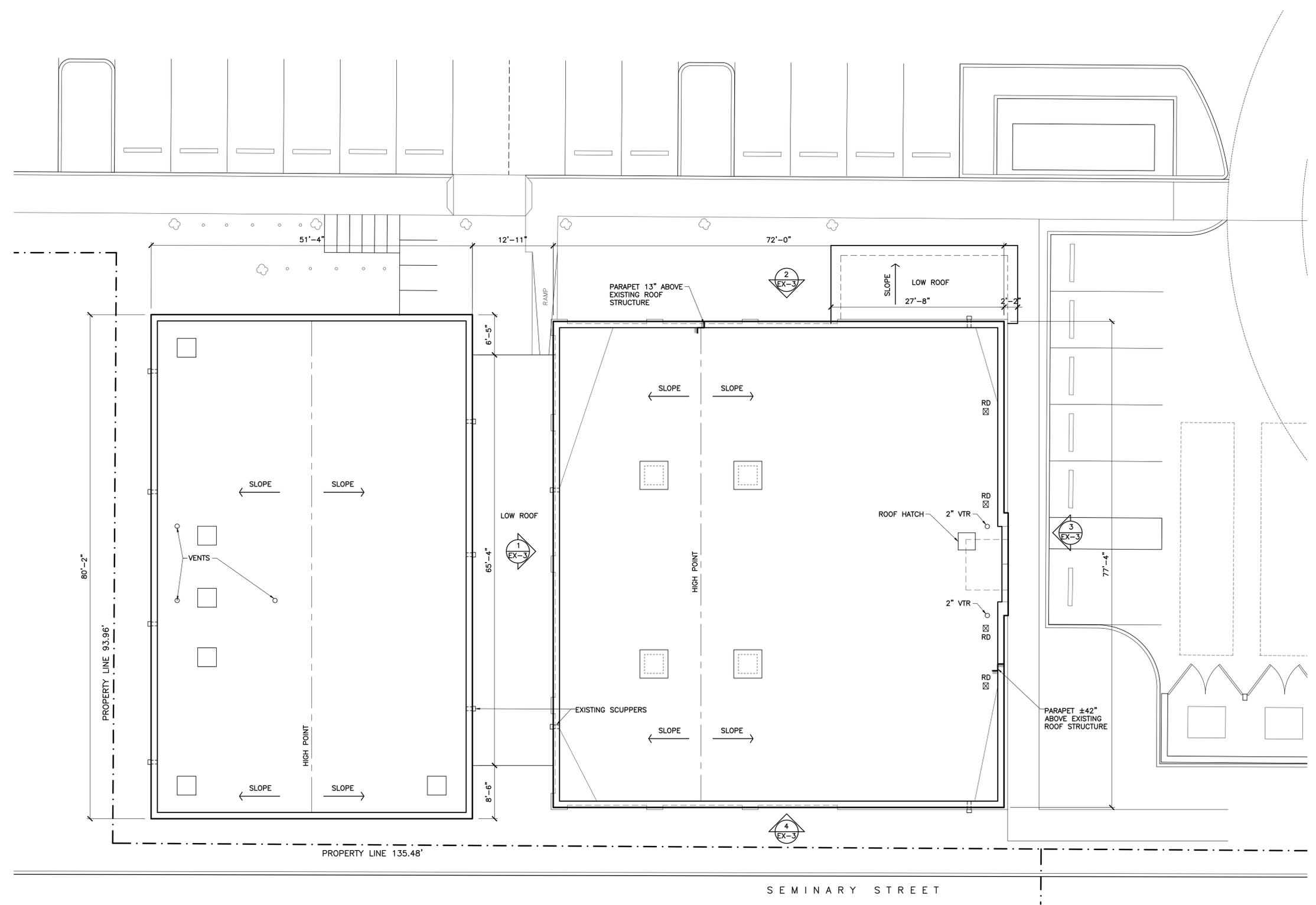
General Requirements

- 1) Public safety and property is of utmost importance.
- 2) Contractor shall employ and pay for all independent lab testing as required by the specifications.
- 3) Contractor shall verify elevations and location of existing facilities shown on drawings prior to start of construction
 - a. **Nothing Follows**

Pre-Bid meeting adjourned 2:30 with the site visit portion adjourning at 2:45.

WILLIAM P. HORN
 ARCHITECT, P.A.
 915 EATON ST.
 KEY WEST,
 FLORIDA
 33040
 TEL. (305) 296-8302
 FAX (305) 296-1033
 LICENSE NO.
 AA 0003040

OLD GYMNASIUM
 BUILDING
 1300 White Street Rear
 KEY WEST, FLORIDA.



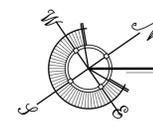
SEAL _____

DATE
 05-01-17

REVISIONS _____

DRAWN BY
 JW

PROJECT
 NUMBER
 1702

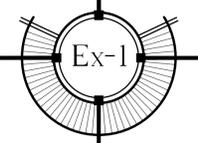


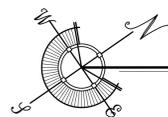
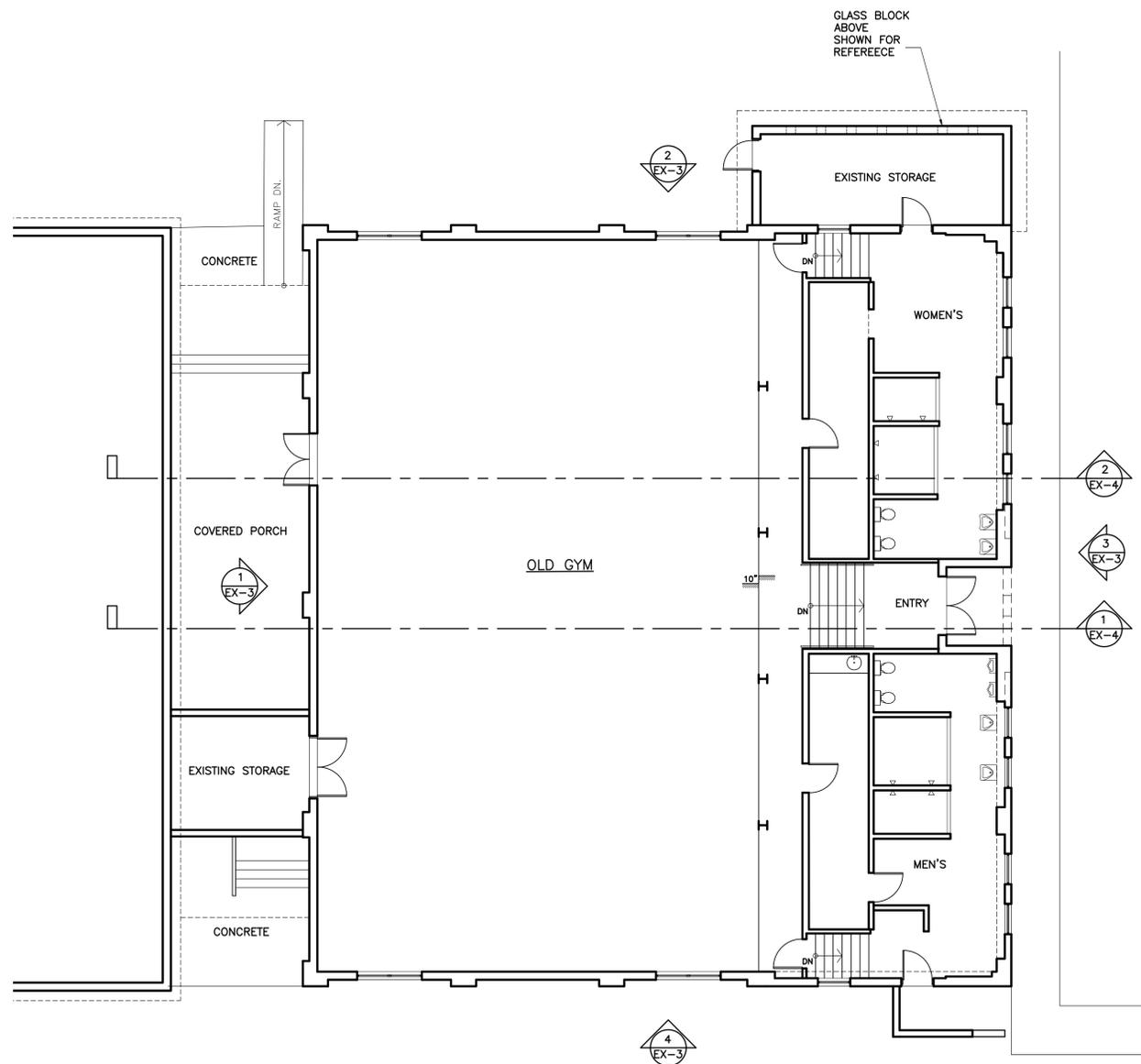
EXISTING PARTIAL SITE/ROOF PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM
 SURVEY PREPARED BY FRED H. HILDEBRANDT,
 SURVEYOR DATED ON 06/08/1998

SCALE: 1/8"=1'-0"

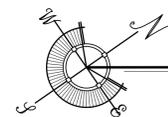
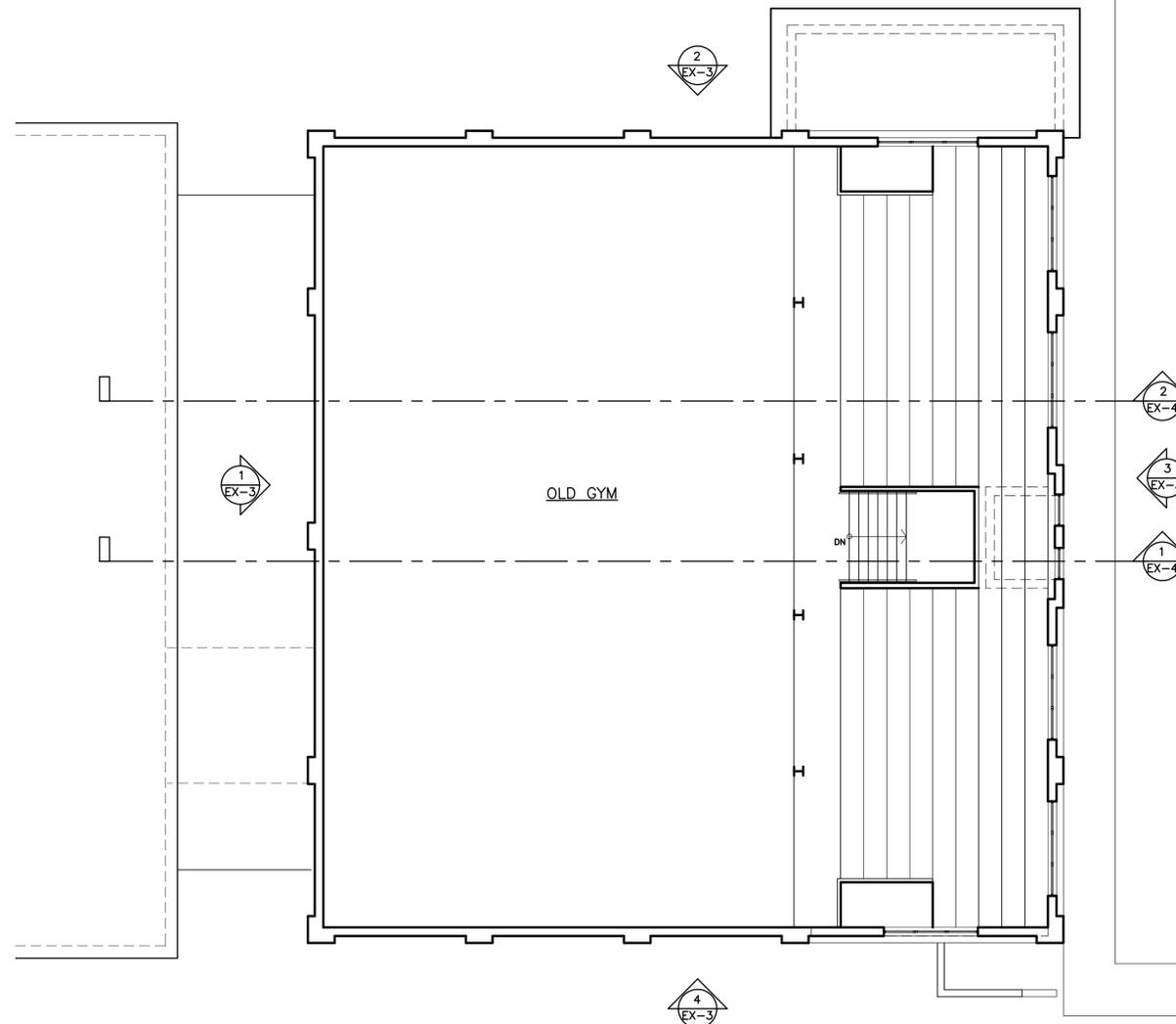
OLD GYMNASIUM BUILDING
 1300 White Street Rear
 KEY WEST, FLORIDA





EXISTING FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



EXISTING UPPER LEVEL PLAN

SCALE: 1/8"=1'-0"

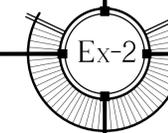
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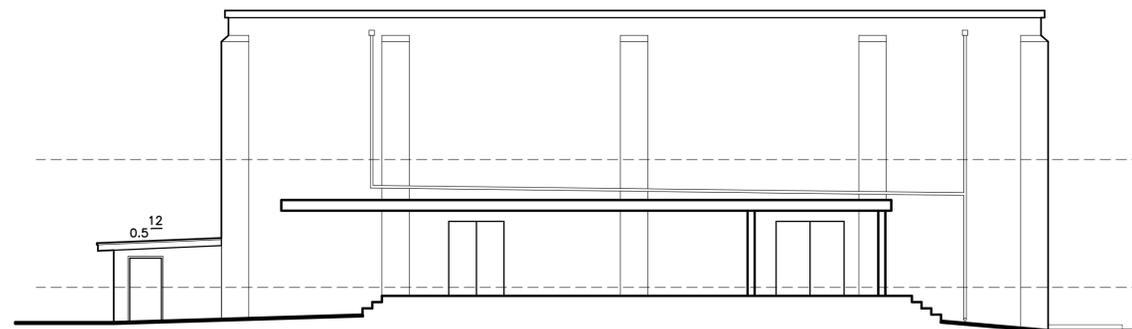
DATE
05-01-17

REVISIONS _____

DRAWN BY
JW

PROJECT
NUMBER
1702





1
Ex-3

EXISTING SOUTH ELEVATION

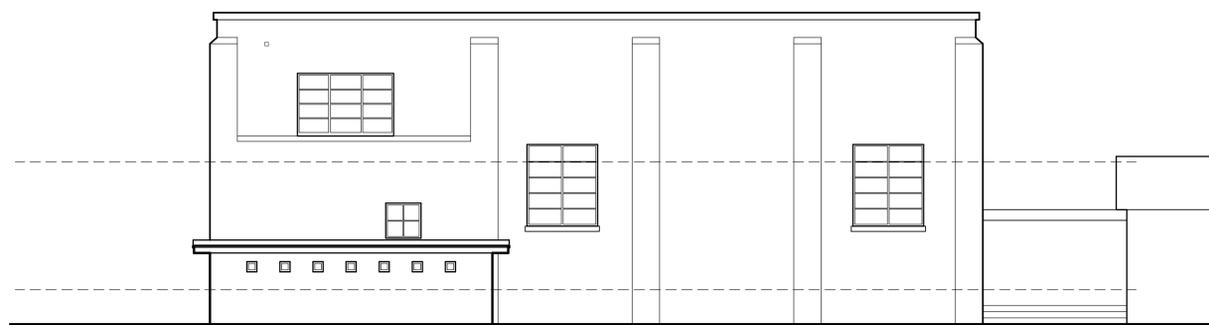
SCALE: 1/8"=1'-0"



3
Ex-3

EXISTING NORTH ELEVATION

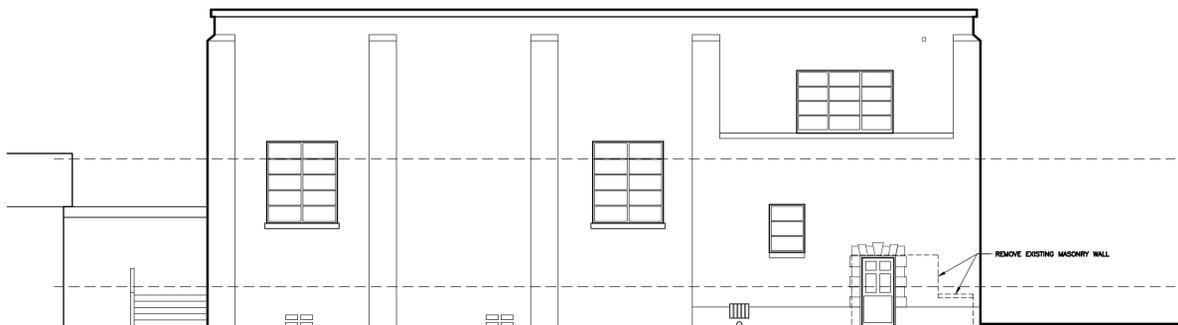
SCALE: 1/8"=1'-0"



2
Ex-3

EXISTING WEST ELEVATION

SCALE: 1/8"=1'-0"



4
Ex-3

EXISTING EAST ELEVATION

SCALE: 1/8"=1'-0"

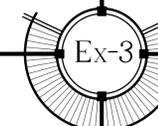
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DATE
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REVISIONS _____

DRAWN BY
JW

PROJECT
NUMBER
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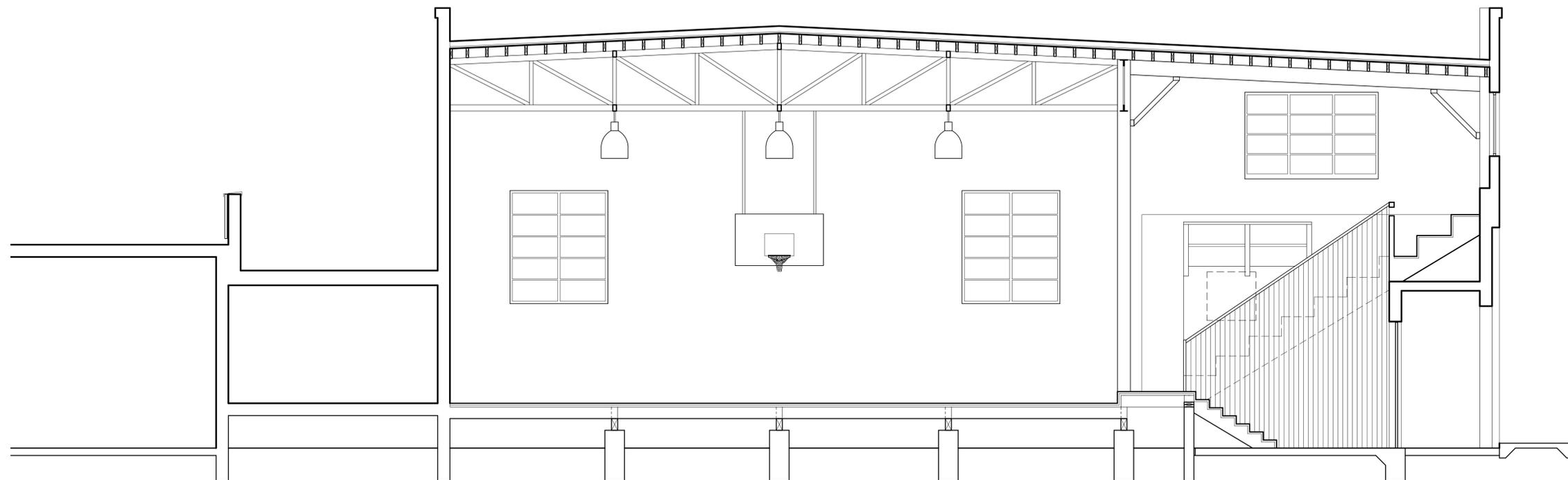
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DATE
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REVISIONS _____

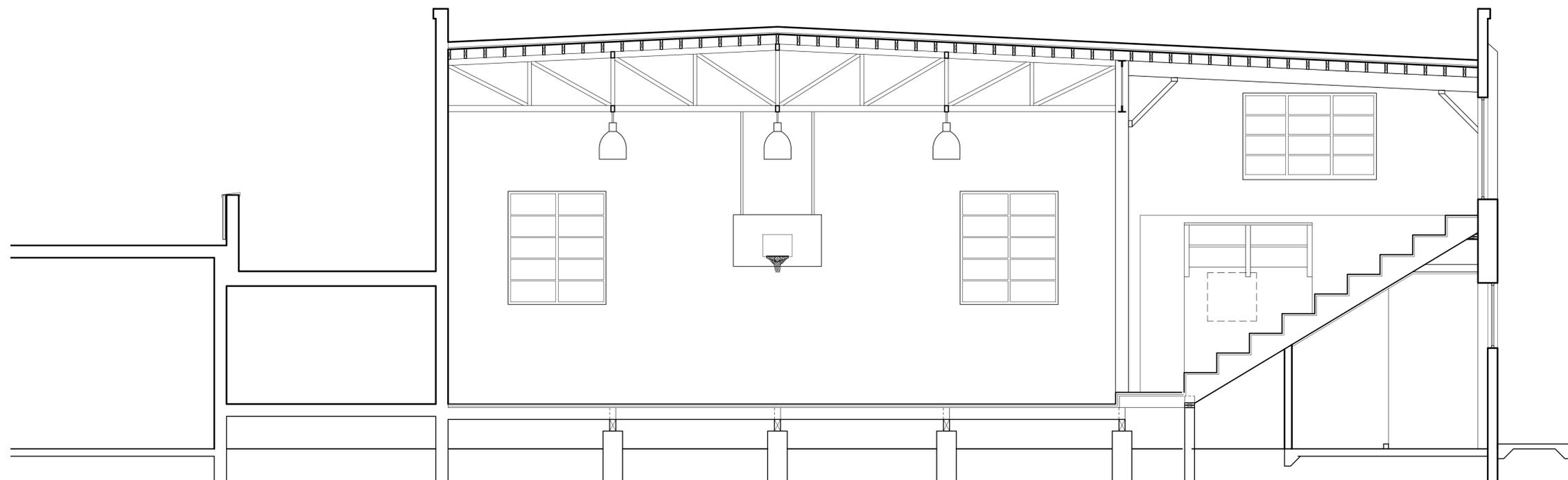
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PROJECT
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1
Ex-4
EXISTING SECTION - MAIN ENTRY

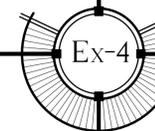
SCALE: 1/4"=1'-0"



2
Ex-4
EXISTING SECTION

SCALE: 1/4"=1'-0"

OLD GYMNASIUM BUILDING
1300 White Street Rear
KEY WEST, FLORIDA



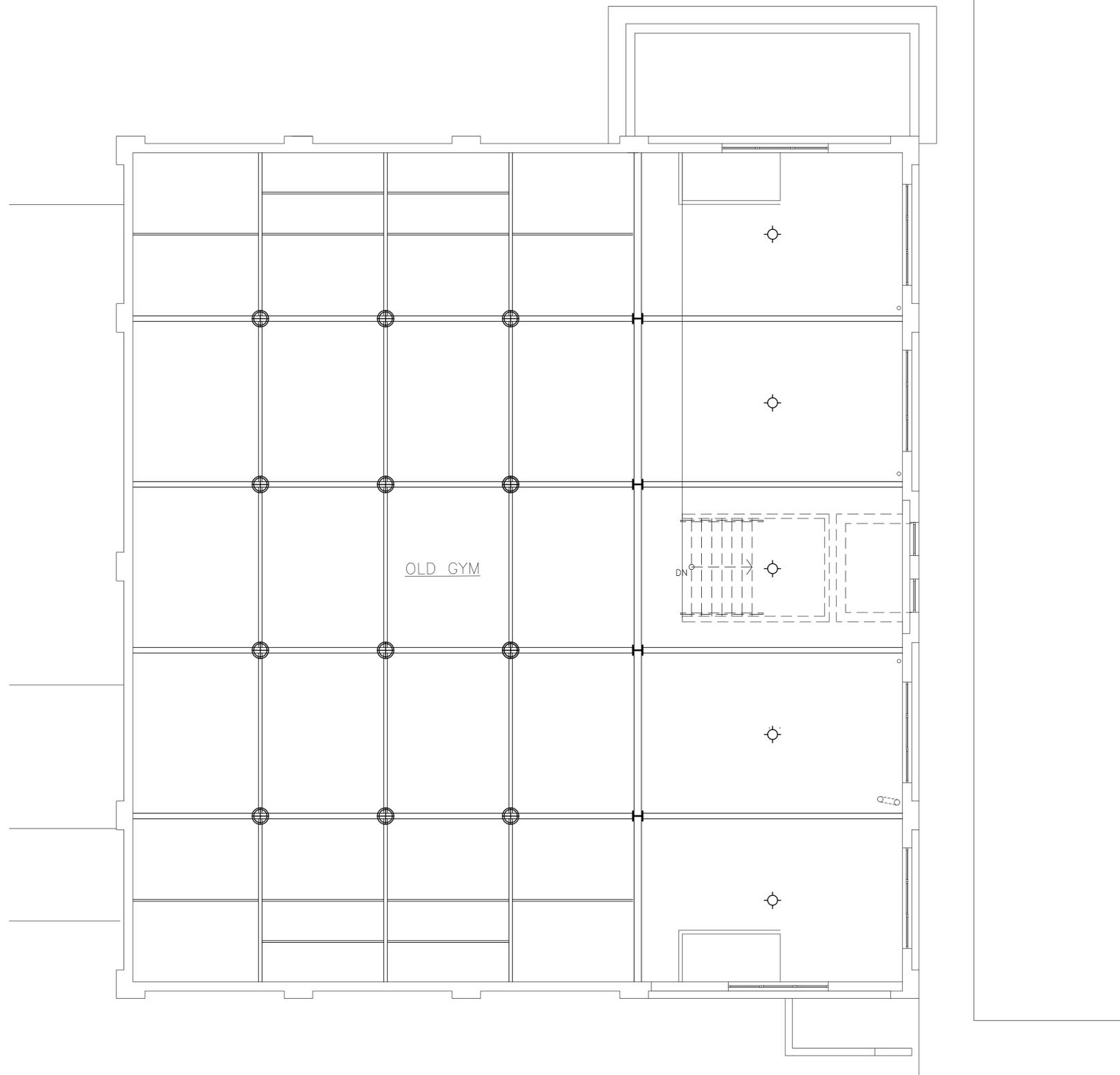
WILLIAM P. HORN
ARCHITECT, P.A.

915 EATON ST.
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TEL. (305) 296-8302
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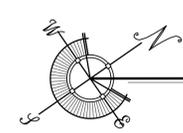
SEAL _____

DATE
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REVISIONS _____

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JW

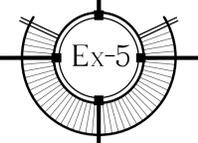
PROJECT
NUMBER
1702



EXISTING REFLECTING CEILING PLAN

SCALE: 3/16"=1'-0"

OLD GYMNASIUM BUILDING
1300 White Street Rear
KEY WEST, FLORIDA



NOTE TO BIDDER: Use preferably BLACK ink for completing this BID form.

PROPOSAL FORM

To: The City of Key West
Address: 1300 White Street, Key West, Florida 33040
Project Title: Glynn Archer Gymnasium Renovations
ITB 18-028

Bidder's contact person for additional information on this BID:

Company Name: _____

Contact Name & Telephone #: _____

Email Address: _____

BIDDER'S DECLARATION AND UNDERSTANDING

The undersigned, hereinafter called the Bidder, declares that the only persons or parties interested in this Bid are those named herein, that this Bid is, in all respects, fair and without fraud, that it is made without collusion with any official of the Owner, and that the Bid is made without any connection or collusion with any person submitting another Bid on this Contract.

The Bidder further declares that he has carefully examined the Contract Documents for the construction of the project, that he has personally inspected the site, that he has satisfied himself as to the quantities involved, including materials and equipment, and conditions of work involved, including the fact that the description of the quantities of work and materials, as included herein, is brief and is intended only to indicate the general nature of the work and to identify the said quantities with the detailed requirements of the Contract Documents, and that this Bid is made according to the provisions and under the terms of the Contract Documents, which Documents are hereby made a part of this Bid.

CONTRACT EXECUTION

The Bidder agrees that if this Bid is accepted, he will, within 10 days, not including Sundays and legal holidays, after Notice of Award, sign the Contract in the form annexed hereto, and will at that time, deliver to the Owner evidence of holding required licenses and certificates, and will, to the extent of his Bid, furnish all machinery, tools, apparatus, and other means of construction and do the work and furnish all the materials necessary to complete all work as specified or indicated in the Contract Documents.

CERTIFICATES OF INSURANCE

Bidder agrees to furnish the Owner, before commencing the work under this Contract, the certificates of insurance as specified in these Documents.

START OF CONSTRUCTION AND CONTRACT COMPLETION TIME

The Bidder further agrees to begin work within 10 calendar days after the date of the Notice to proceed and to complete the project, in all respects within **365** calendar days after the date of the Notice to Proceed.

LIQUIDATED DAMAGES

In the event the Bidder is awarded the Contract and shall fail to complete the work within the time limit or extended time limit agreed upon, as more particularly set forth in the Contract Documents, liquidated damages shall be paid to the Owner at the rate of \$500.00 per day for all work awarded until the work has been satisfactorily completed as provided by the Contract Documents.

ADDENDA

The Bidder hereby acknowledges that he has received Addenda No's. ____, ____,
____, _____, _____, _____, _____, _____, _____, _____, _____,
(Bidder shall insert No. of each Addendum received) and agrees that all addenda issued are hereby made part of the Contract Documents, and the Bidder further agrees that his Bid(s) includes all impacts resulting from said addenda.

SALES AND USE TAXES

The Bidder agrees that all federal, state, and local sales and use taxes are included in the stated bid prices for the work.

LUMP SUM ITEMS

The Bidder further proposes to accept as full payment for the work proposed herein the amounts computed under the provisions of the Contract Documents and based on the following lump sum amounts. The Bidder agrees that the lump sum represent a true measure of the labor and materials required to perform the work, including all allowances for overhead and profit for each type and unit of work called for in these Contract Documents.

LUMP SUM PRICE BID

Lump sum bid prices stated in this proposal include all costs and expenses for labor, equipment, materials, disposal and contractor's overhead and profit. All work and incidental costs shall be included for payment under the several scheduled items of the overall contract, and no separate payment will be made therefore.

LUMP SUM BASE BID

Lump Sum Base Bid (Inclusive of all permitting, fixtures, equipment, material and labor):

LUMP SUM \$ _____

_____ Dollars & _____ Cents
(amount written in words)

Base bid shall also include:

1. Removing and replacing with new 30% of the existing wood roof decking and joists.
2. Removing and replacing with new 30% of the existing wood finished floor and 20% of the existing wood sub-floor.

UNIT PRICES

The Bidder further proposes to accept as full payment for unit price work proposed herein the amounts computed under the provisions of the Contract Documents and based on the following unit price amounts, it being expressly understood that the unit prices are independent of the exact quantities involved. The Bidder agrees that the unit prices represent a true measure of the labor and materials required to perform the work, including all allowances for overhead and profit for each type and unit of work called for in these Contract Documents.

Provide unit pricing to remove and replace with new decking (per square foot) and for joists should actual (field measured) quantities vary from the 30% included in the base bid.

Roof Decking:

UNIT PRICE (Add/Deduct), per square foot \$ _____

Roof Joists:

UNIT PRICE (Add/Deduct), per linear foot \$ _____

Provide uniting price, per square foot, to remove and replace with new finished floor and sub-floor should actual (field measured) quantities vary from that allocated in the base bid.

Finished Wood Flooring:

UNIT PRICE (Add/Deduct), per square foot \$ _____

Wood Sub-floor:

UNIT PRICE (Add/Deduct), per square foot \$ _____

The unit price provided will be used as a credit if the replacement is less than the allocated amount.

Additive Bid Alternate No. 1 – Selective Demolition and Installation of a New Single Ply Roof System of the Attached Structure (SOS Kitchen):

SCOPE OF BID ALTERNATE: See Division 7 in the attached specifications regarding the scope of work required for the selective demolition and installation of the roofing system included in the original Scope of Work.

LUMP SUM (Add) \$ _____

Additive Bid Alternate No. 2 – Provide lightning protection system for the main gym structure and intermediate lower roof:

SCOPE OF BID ALTERNATE: See detail 1/A – 5.3 in the attached drawings regarding the scope of work required for this alternate.

LUMP SUM (Add) \$ _____

Additive Bid Alternate No. 3 – Provide lightning protection system for the adjacent “SOS” building:

SCOPE OF BID ALTERNATE: See detail 1/A – 5.3 in the attached drawings regarding the scope of work required for this alternate.

LUMP SUM (Add) \$ _____

NOTE: OWNER HAS THE RIGHT TO ACCEPT OR REJECT THE BID ALTERNATE. THE TOTAL OF BASE BID PLUS THE SUM OF OWNER SELECTED BID ALTERNATE WILL A BASIS OF EVALUATING LOW BIDDER AND SASIS OF AWARD.

BIDDER REPRESENTATION

The undersigned, hereinafter called the Bidder, declares that the only persons or parties interested in this Proposal are those named herein, that this Proposal is, in all respects, fair and without fraud, that it is made without collusion with any official of the Owner, and that the Proposal is made without any connection or collusion with any person submitting another Proposal on this Contract.

I represent that this bid is submitted in compliance with all terms, conditions and specifications of the Invitation to Bid and that I am authorized by the owners/principals to execute and submit this proposal on behalf of the business identified below: